

# Planning Committee

## 5 February 2024

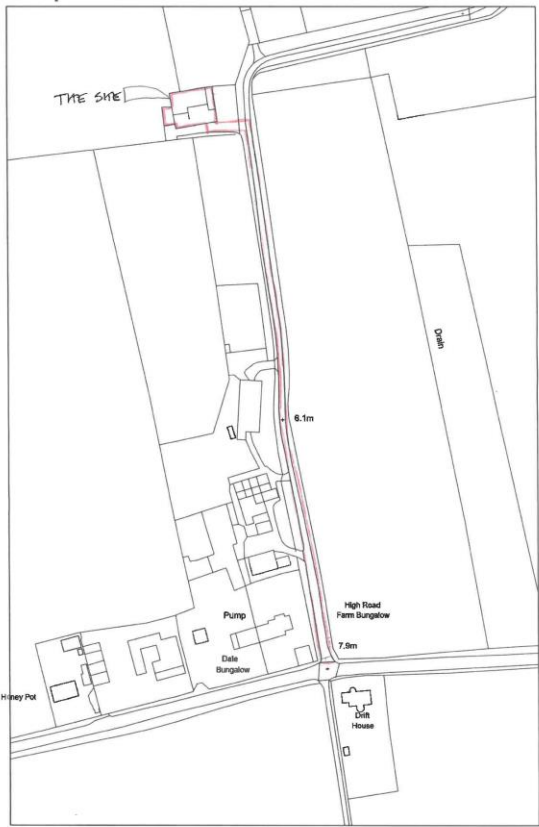


23/00580/F





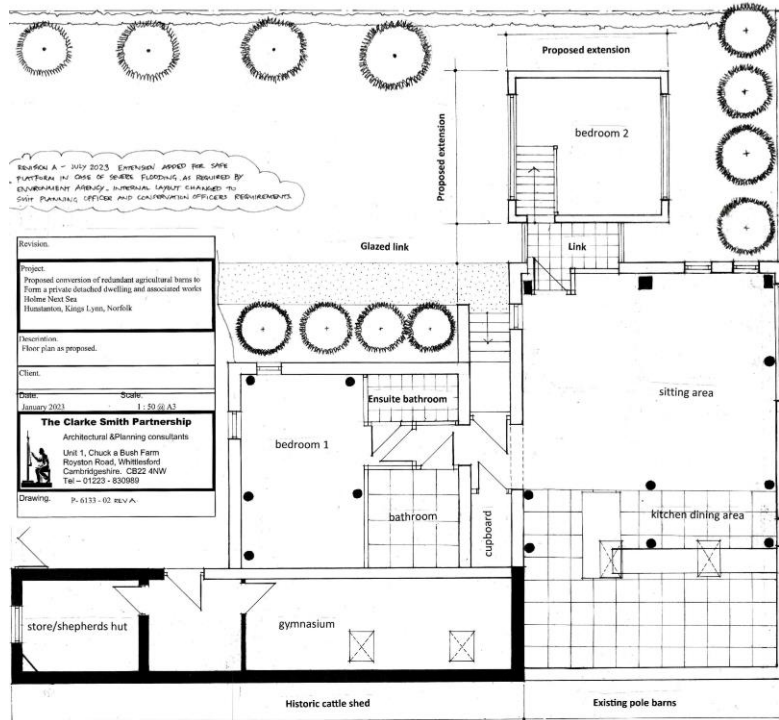
MapServe®



LOCATION PLAN 1: 1:1250 @ A3







Revision:

Project:  
Proposed conversion of redundant agricultural barns to form a private detached dwelling and associated works  
Holme Next Sea  
Hunstanton, King's Lynn, Norfolk

Description:  
Floor plan as proposed.

Client:

Date: January 2023      Scale: 1:50 @ A3

**The Clarke Smith Partnership**  
Architectural & Planning consultants  
Unit 1, Chuck & Bugh Farm  
Royston Road, Whitteford  
Cambridgeshire, CB22 4NW  
Tel - 01223 - 830999

Drawing: P-6133-02 REV A

THE CATTLESHED





Existing Southern elevation.



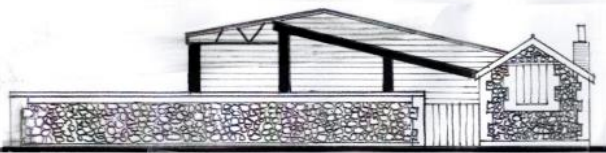
Existing Western elevation.



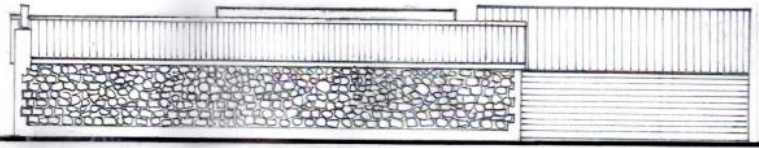
Proposed Southern elevation.



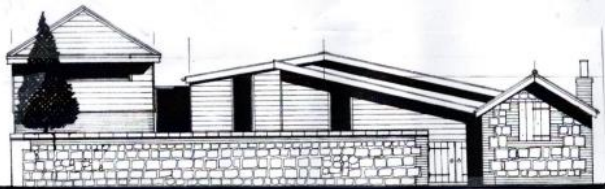
Proposed Western elevation.



Existing Eastern elevation.



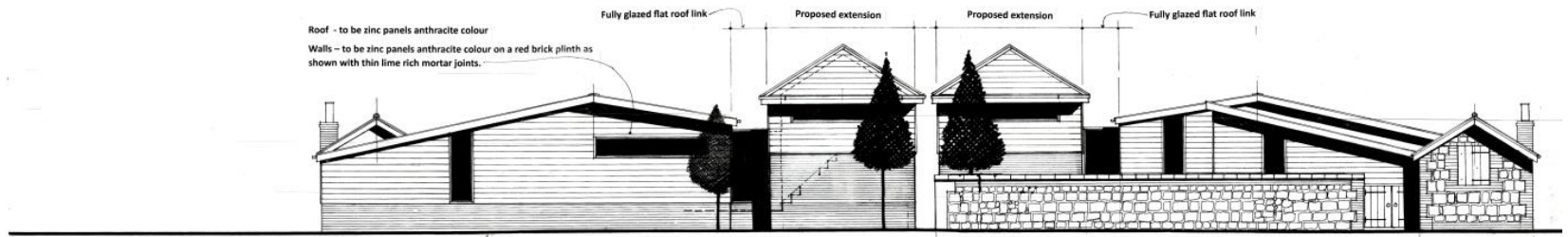
Existing Northern elevation.



Proposed Eastern elevation.



Proposed Northern elevation.

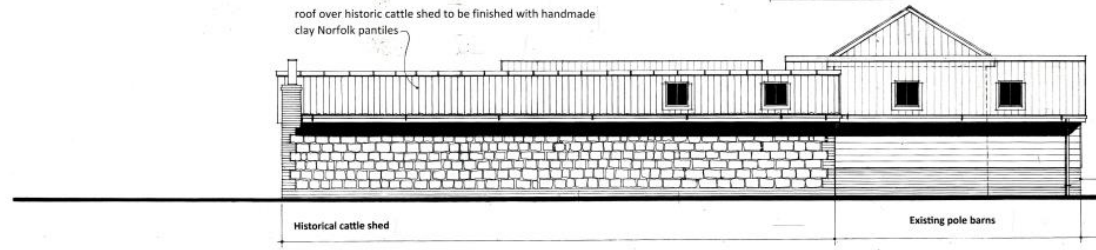


Proposed Western Elevation.

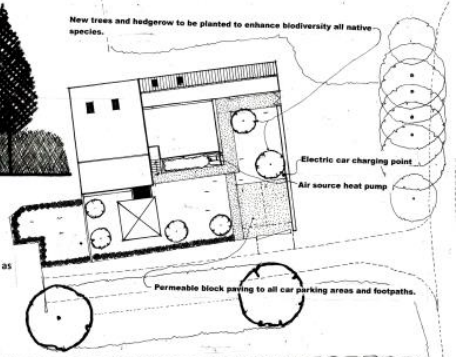
Proposed Eastern Elevation.



Proposed Southern Elevation.



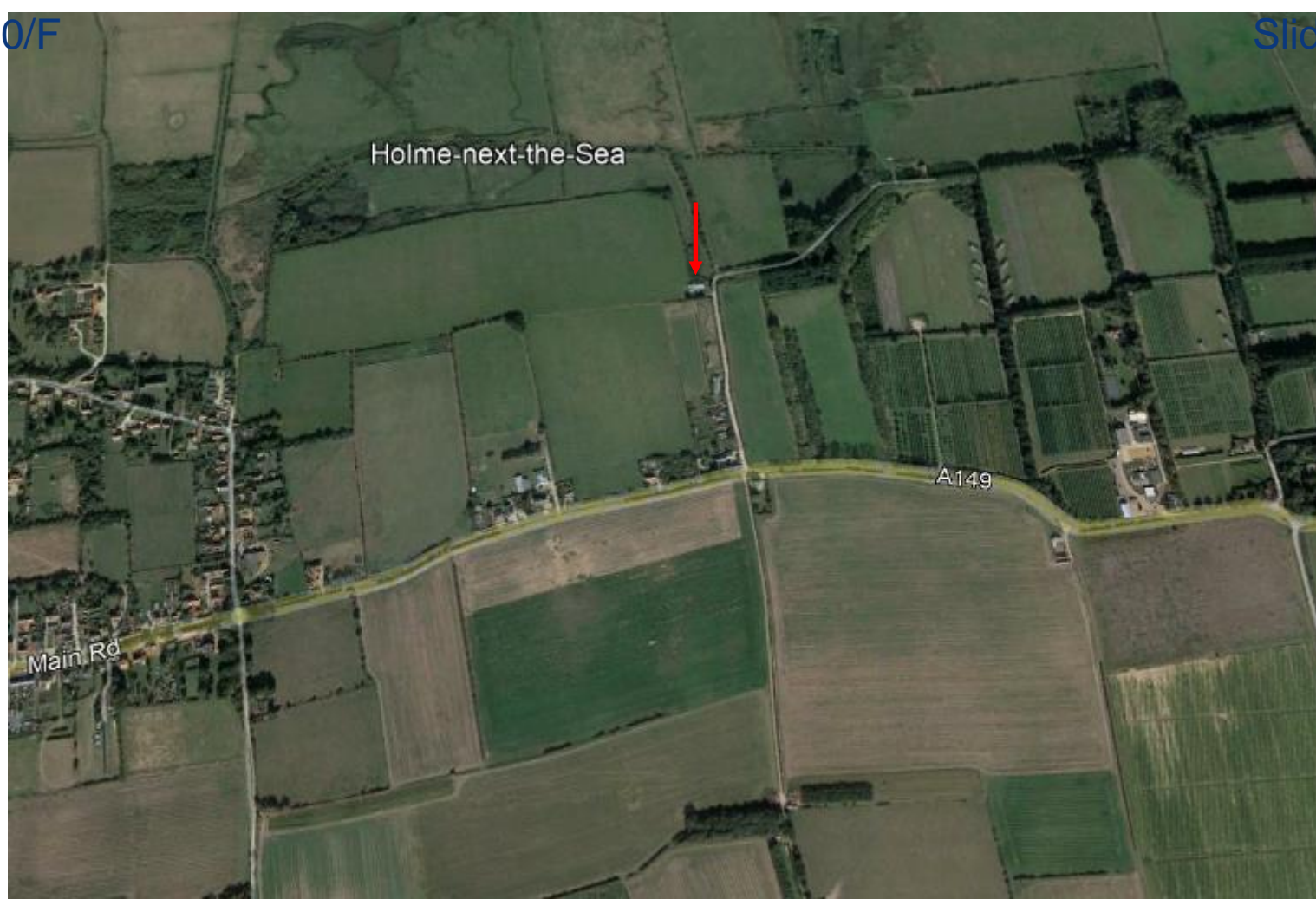
Proposed Northern Elevation.



Proposed site plan scale 1:200

Revision:
Project: Proposed conversion of redundant agricultural barns to form a private detached dwelling and associated works Holme West Site Hunstanton, King's Lynn, Norfolk
Description: Elevations as proposed.
Client:
Date: January 2023
Scale: 1:50 @ A3
<b>The Clarke Smith Partnership</b> Architectural & Planning consultants Unit 1, Chuck a Bush Farm







Eastern wall and bothy, lean to structure to be removed





West wall of pole barn





North wall of Bothy and Cattle Shed





Internal courtyard view of pole barn, with cattle shed visible





Internal courtyard view, looking east









Internal pole barn as viewed from Cattle Shed





Internal pole barn, Carstone wall to be retained





Internal pole barn





Access track south towards Thornham Road





Access track continuing north

# Speaker Slides

## Wendy Norman

### Parish Council





This is what tidal flooding in Holme looks like....



**NDP Policy HNTS 2 makes more than sufficient provision for housing - directing it away from areas at greatest risk of flooding in accordance with NPPF 165**

23/00940/F



1 LIEGE COTTAGES. BASIN ROAD. OUTWELL. CAMBRIDGESHIRE. PE14 8TQ



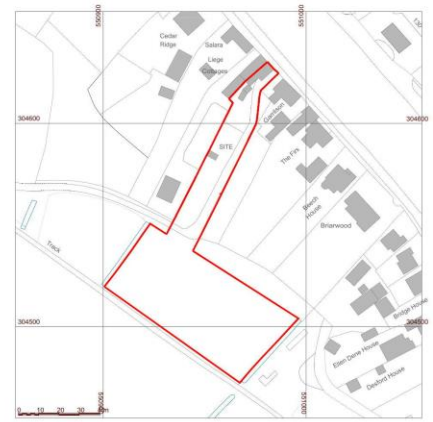
SITE PLAN scale 1:500

# Location plan

Borough Council of King's Lynn & West Norfolk

LM/03/B

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SCALE BAR Metres

LOCATION PLAN scale 1:1250

DATE 11.12.19 @ 1:00 PRINT AT A2	DATE MAY 2023	VERSION A. 2019/0011 Drawing first issued. A. 2019/0011 Drawing revised
TITL EXISTING LOCATION & SITE PLAN.		

**sharman architecture**  
OAK BARR, WILLOW GROVE, BOROUGH FEN, PETERBOROUGH, PETS 7QB  
tel: 07534 124 884 email: sharman@sharmanarch.com

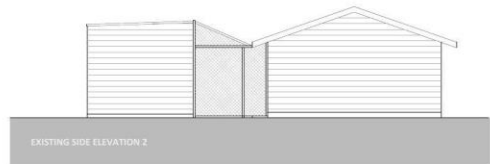
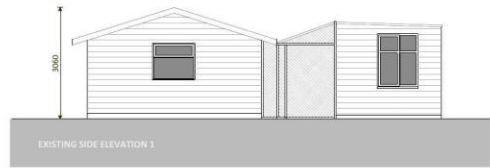
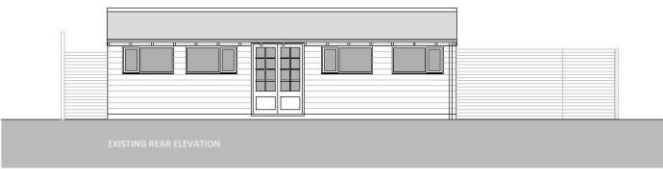
Supplied by Streetwise Maps Ltd  
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scale	1:1250 & 1:500	date	MAY 2023
sheet	PRINT AT A2	revision	1. 2023/05/23 Drawing first issued 2. 2023/05/23 Drawing first issued 3. 2023/05/23 Drawing first issued 4. 2023/05/23 Drawing first issued

PROPOSED LOCATION & SITE PLAN.





NOTES  
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DATE EXISTING ELEVATIONS	SCALE 1:100 @ A3	DATE MAY 2023
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CONTRACT MR & MRS JONES	PROJECT A 18/05/2023 DRAWING FIRST ISSUED
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# Kennel Elevations



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PLAN VIEW OF FIELD SHELTER



Site <b>FIELD SHELTER</b>	Scale <b>1:100 @ A3</b>	Date <b>MAY 2023</b>
Contract <b>MR &amp; MRS JONES</b>		Revision A (23/05/23) DRAWING FIRST ISSUED







Street Scene looking north-west





Parking area in rear garden of dwelling, Roof of kennel building in background





Looking back towards main dwelling. Neighbouring dwelling on right hand side





Path towards bottom of garden where kennel is located. Acoustic fencing separates





Front of proposed kennel building





Cat room for private use only attached to front of kennel building





West boundary of the site and adjacent building with lawful commercial use





East boundary of the site abutting rear of neighbours garden





Gap down side of kennel building providing access to runs





View of the outdoor runs looking south





View of outdoor runs looking west





Rear boundary of the site and tree to be retained





Right of Way adjacent rear boundaries.





Proposed field for exercising dogs





One of the CCTV cameras which are in place to monitor the site

# Speaker Slides William Smith













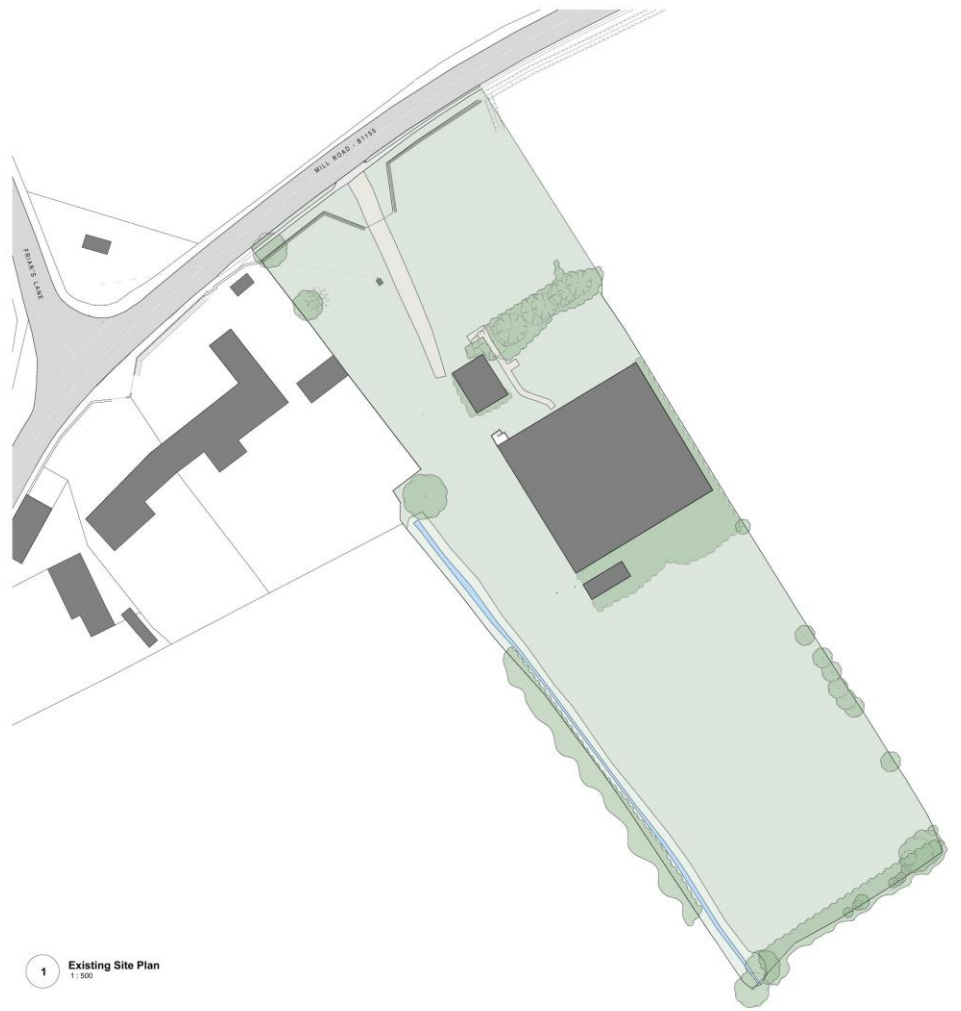


23/00103/F









1 Existing Site Plan  
1:500

NOTES

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Revisions

Rev.	Description	Date	Drawn	Checked	By

PURPOSE OF ISSUE					
PL - For Planning Submission					
DRAWING TITLE					
SZ - PFI for Information					
PROJECT TITLE					
OVERY ROAD NURSERIES, BURNHAM MARKET					
CLIENT					
M.J. & H.C. Smith					
DRAWING TITLE					
Existing Site Plan					
SCALE	DATE	DESIGNED BY	CHECKED BY	APPROVED BY	
1:500	30.09.2022	TH	DO	DMF	
DRAWING NUMBER					
3135_LAN-XX-XX-DR-A-0101					
Lampro Architects, Bespoke Design & Construction Services Norwich Office, Beedling Road, NR6 9JG, Norwich, Norfolk, NR6 9JG Tel: 01603 651100 www.lampro-norfolk.co.uk					





1 Proposed Site Plan  
1:500

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- Key**
- Existing site access
  - Existing trees retained
  - Proposed boundary planting
  - Proposed trees
  - Indicate location of All High Pressure Sewerage (AHPS)
  - Clearance other than All High Pressure Sewerage (AHPS)
  - Existing buildings removed
- 1** Integrated single garage  
**2** Refuse collection point  
**3** Parking  
**4** Retained trees  
**5** Proposed trees  
**6** Proposed boundary planting  
**7** Proposed trees

Revisions	Rev.	Description	Date	Drawn	Checked	By

**PURPOSE OF ISSUE**  
PL - For Planning Submission

**DRAWING TITLE**  
SZ - PA for Information

**PROJECT TITLE**  
OVERY ROAD NURSERIES, BURNHAM MARKET

**CLIENT**  
M.J. & H.C. Smith

**DRAWING TITLE**  
Proposed Site Plan

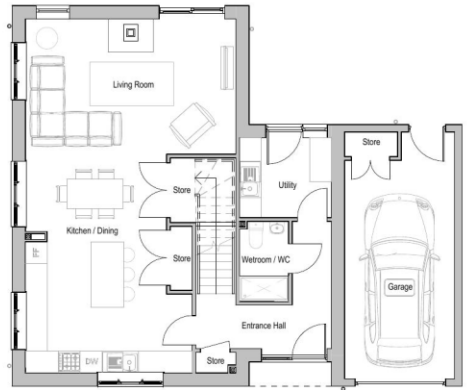
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1:500	30.09.2022	TH	DO	DMF

**DRAWING NUMBER**  
3135\_LAN-XX-XX-DR-A-0102

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Architectural, Planning & Urban Design Ltd  
Norwich Office, Beedling Road, NR6 9PQ, Norwich, Norfolk, NR6 9PQ  
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**1** Ground Floor Plan  
1 : 100



**2** First Floor Plan  
1 : 100

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It is your responsibility as client to make yourself aware of your role within CDM 2015 and act accordingly.



**Revisions**

Rev.	Description	Date	Drawn By	Checked By

PURPOSE OF ISSUE				
PL - For Planning Submission				
DRAWING STATUS				
S2 - Fit For Information				
PROJECT TITLE				
OVERY ROAD NURSERIES, BURNHAM MARKET				
CLIENT				
M.J & H.K. Smith				
DRAWING TITLE				
House Type A - Proposed Floor Plans				
SCALE	DATE	DRAWN BY	CHECKED BY	APPROVED BY
1:100@A3	05.09.2022	TH	DO	DAF
DRAWING NUMBER				
3135 - LAN - XX - XX - DR - A - 0301				
Architecture   Waterplanning & Urban Design   Landscape Architecture				
Norwich Office: Svedlingham House, 98 Puddinglake, Norwich, NR2 1ED tel: 01603 631 319 <a href="http://www.lamproservices.co.uk">www.lamproservices.co.uk</a>				



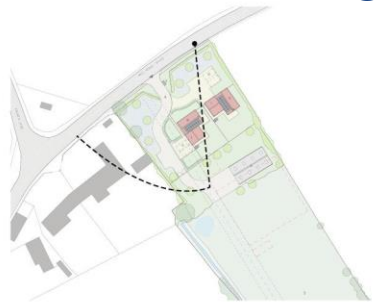
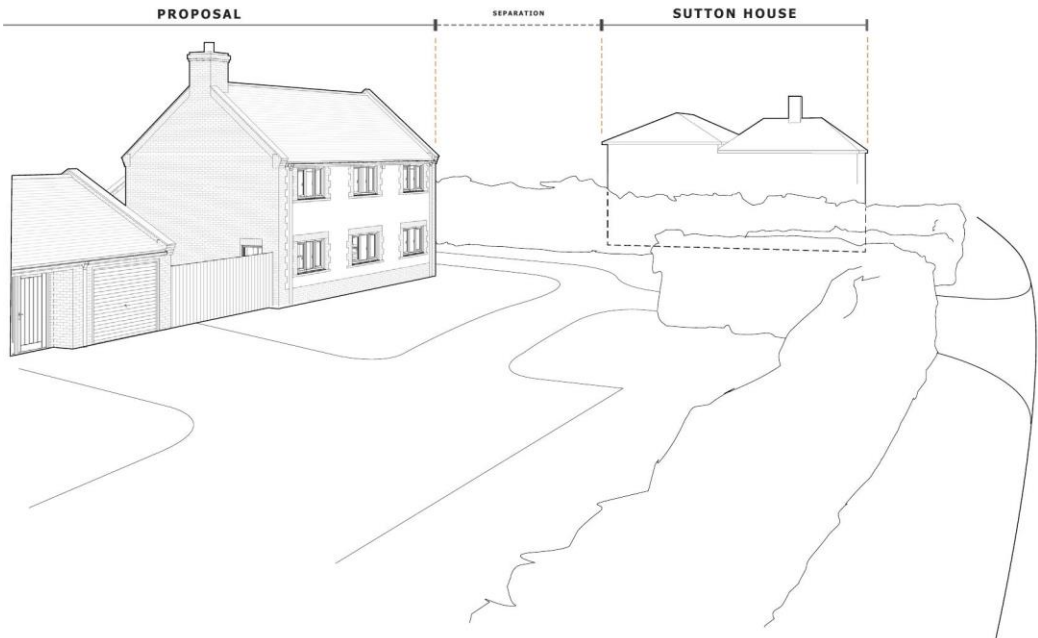












**Key Plan**

The above key plan indicates the position of the below viewpoint used in the diagram. The viewpoint position chosen is adjacent to the 30mph road sign which suggests the approach and entry to Burnham Market.

  
**OVERY ROAD**







Site viewed from access track, glasshouses screened by hedging





View of Plot A, conifer hedging screening view of glasshouses



The site's west boundary with Sutton House





Sutton House, view along Overy Road towards edge of village (Approx 200m)





View from site access towards Burnham Overy Town (Approx. 330m to Smaller Village and Hamlet)



# Speaker Slides Holly Smith





MOT workshop - view from road



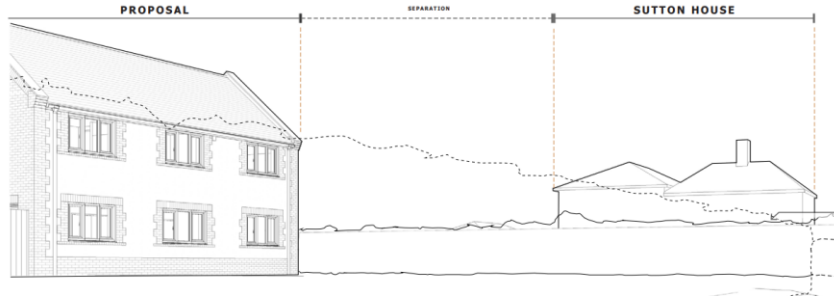
**Brick & Flint  
neighbouring  
wall**











## Visualisation of development



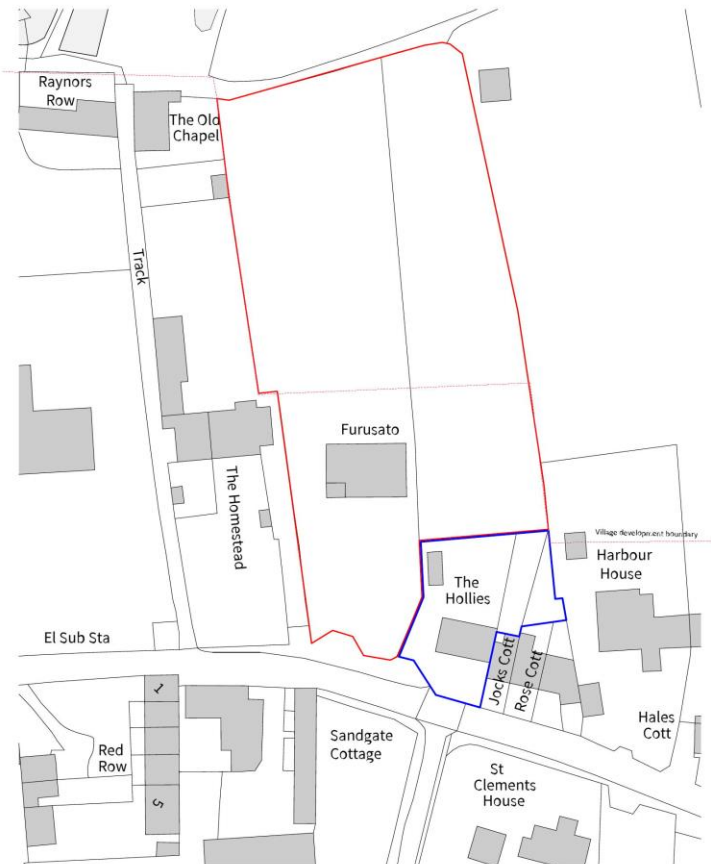
## Current View of Sutton House



23/01516/F







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SITE LOCATION PLAN

1:500 @A3



© 2018, 2022 Hudson Architects  
 47-51, 20-22 Development Boundary Address

HUDSONArchitects

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PROJECT	EX-001
DATE	2023-01-16
CLIENT	PLANNING
SCALE	A
DATE	2023-01-16







Existing dwelling









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**SITE PLAN**  
1:500 @A3



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 #157/2022 Development Boundary Added  
**HUDSONArchitects**  
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PL-002	A
PLANNING	



**SOUTH ELEVATION**

1:100 @A3



**ELEVATION KEY**

- 1 Corten
- 2 Flint
- 3 Timber
- 4 Sedum
- 5 Perforated Corten
- 6 Flue

- 03.09.23 Issued for Planning		<b>PL-208</b>
DATE:	03.09.23	
PROJECT:	FLINTGATE	FUR
CLIENT:	FLINTGATE PEEL 3JH	PLANNING
DESCRIPTION:	AC PROPOSED SOUTH ELEVATION	
SCALE:	1:100 @A3	





**NORTH ELEVATION**



**ELEVATION KEY**

- 1 Corten
- 2 Flint
- 3 Timber cladding
- 4 Sedum
- 5 Wire balustrade
- 6 Flue
- 7 Metal framed window
- 8 Metal framed door
- 9 Perforated corten
- 10 Timber pergula

- 03.06.23 Issued for Planning		<p><b>PL-206</b></p> <p>FUR</p> <p>PLANNING</p> <p><small>Check case of documents. Check all documents are in and report any discrepancies immediately. This drawing is unapproved.</small></p>
<p>001: RUTGATE</p> <p>002: RUTGATE</p> <p>003: PE11 3JH</p> <p>AC PROPOSED</p> <p>004: NORTH ELEVATION</p> <p>005: 1:100 @ A3</p>	<p><b>HUDSONArchitects</b></p> <p><small>01553 900 700 220    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk</small></p>	



**GROUND FLOOR**

1:200 @A3



**GROUND FLOOR PLAN**

- 1 Garage
- 2 Store
- 3 Entrance
- 4 Bootroom
- 5 Utility
- 6 Snug
- 7 Kitchen
- 8 Dining
- 9 Living
- 10 WC
- 11 Larder
- 12 Guest Bedroom
- 13 Guest closet
- 14 Guest Bathroom
- 15 Outdoor Terrace
- 16 Plant

- 03.04.23 Issued For Planning A 21.02.23 Level alteration B 11.12.23 Flies to kitchen and annex removed		<b>PL-100</b>	<b>B</b>
job: FURCATH furnished: FURCATH client: PE13 3JH AC PROPOSED use: GROUND FLOOR scale: 1:200 @A3	check: <b>PLANNING</b> <small>Check cover of drawings. Check all dimensions in red and report any discrepancies immediately. This drawing is copyright.</small>		
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**FIRST FLOOR**  
 1:200 @A3

- FIRST FLOOR PLAN**
- 1 Seating
  - 2 Office
  - 3 Bedroom
  - 4 Ensuite
  - 5 Outdoor Terrace
  - 6 Flat roof with PV Panels
  - 7 Pergola
  - 8 PV Panels

- 03.08.23 Issued for Planning		<b>PL-101</b>
DATE: 03.08.23	BY: RUSCATH	
ADDRESS: PE13 3JH	CLIENT: RUSCATH	FUR
PROJECT: AC PROPOSED	DATE: 03.08.23	PLANNING
SCALE: 1:200 @A3	DATE: 03.08.23	Drawn by: RUSCATH, Checked by: RUSCATH, Issued by: RUSCATH
<b>HUDSONArchitects</b> <small>01470 300110   www.hudsonarchitects.co.uk   info@hudsonarchitects.co.uk</small>		



**GROUND FLOOR**

1:200 @A3



**GROUND FLOOR PLAN**

- 1 Garage
- 2 Store
- 3 Entrance
- 4 Bootroom
- 5 Utility
- 6 Snug
- 7 Kitchen
- 8 Dining
- 9 Living
- 10 WC
- 11 Larder
- 12 Guest Bedroom
- 13 Guest closet
- 14 Guest Bathroom
- 15 Outdoor Terrace
- 16 Plant

- 03.04.23 Issued for Planning A 21.02.23 Level alteration B 11.12.23 Floors to kitchen and annex removed		<b>PL-100</b>	<b>B</b>
client: FURCADO architect: PEEL SJM AC PROPOSED use: GROUND FLOOR scale: 1:200 @A3	<b>PLANNING</b>		
<b>HUDSONArchitects</b> 4850007 791 020    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk		(check cover of document - check all documents are in and report any discrepancies immediately. This drawing is copyright ©	



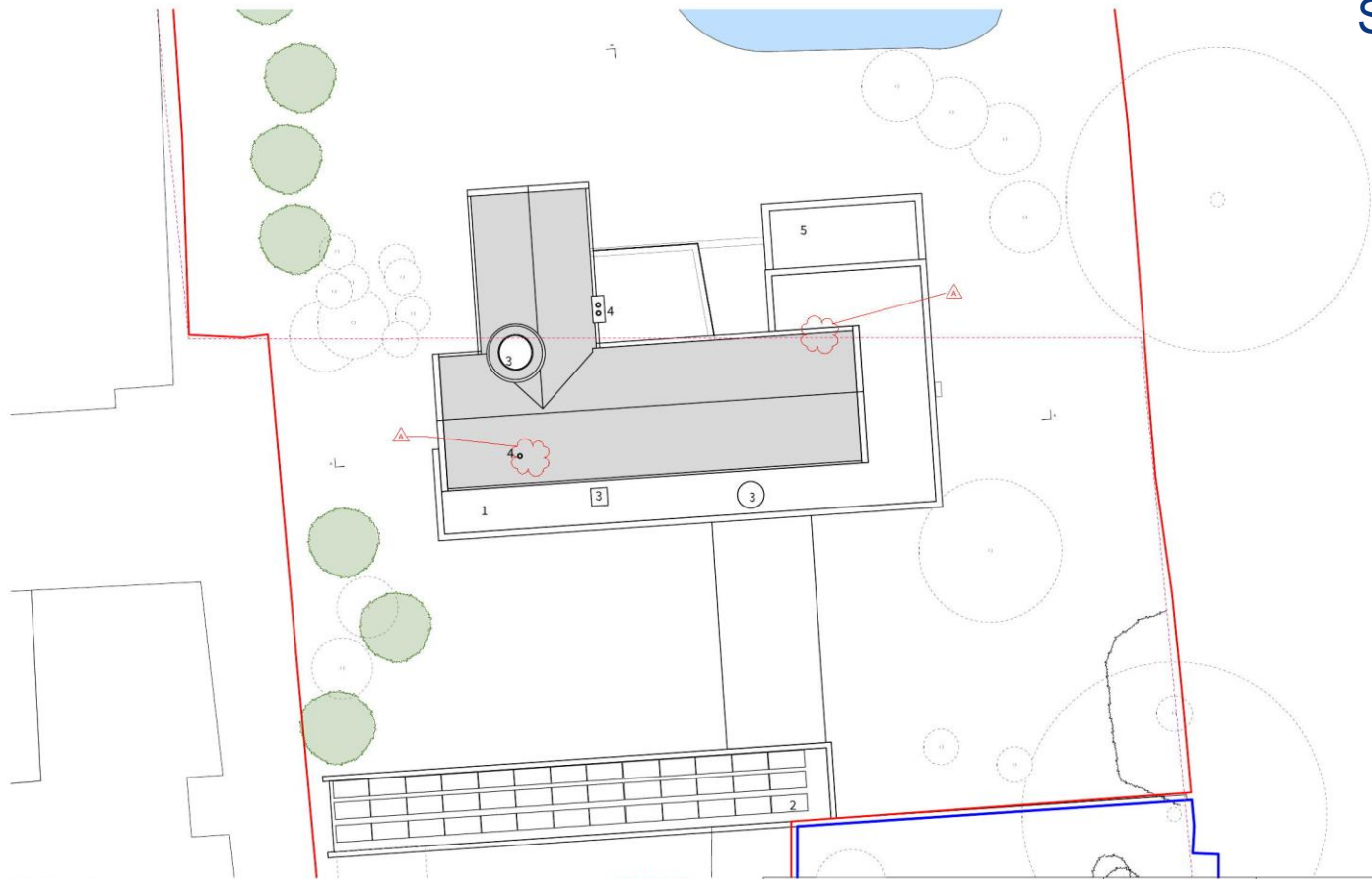


**FIRST FLOOR**  
 1:200 @A3

- FIRST FLOOR PLAN**
- 1 Seating
  - 2 Office
  - 3 Bedroom
  - 4 Ensuite
  - 5 Outdoor Terrace
  - 6 Flat roof with PV Panels
  - 7 Pergola
  - 8 PV Panels

03.08.23 Issued for Planning

<p>ARCHITECT  <b>HUDSONArchitects</b>  <small>4830007 191 020    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk</small></p>	<p> <small>by</small> FURCATH  <small>checked</small> PE13 3JH  <small>DATE</small> AC PROPOSED  <small>DATE</small> FIRST FLOOR  <small>SCALE</small> 1:200 @A3         </p>	<p><b>PL-101</b></p> <p>FUR</p> <p><b>PLANNING</b></p> <p><small>Check case of agreement. Check all documents ready and report to the respective committee. This drawing is copyright.</small></p>
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**ROOF PLAN**  
1:200 @ A3

- ROOF PLAN**
- 1 Sedum
  - 2 Photovoltaics
  - 3 Rooflight
  - 4 Flue
  - 5 Pergola

- 03.08.23 Issued For Planning A 11.12.23 Plans to kitchen and annex removed		<b>PL-110</b> FUR A
client: FURCATH address: PE11 3JH AC PROPOSED use: ROOF PLAN scale: 1:200 @ A3	<b>PLANNING</b> <small>Check case of agreement. Check all dimensions in situ and report any discrepancies immediately. This drawing is copyright.</small>	
<b>HUDSONArchitects</b> <small>01473 300110   www.hudsonarchitects.co.uk   info@hudsonarchitects.co.uk</small>		





**NORTH ELEVATION**  
1:100 @ A3

- ELEVATION KEY**
- 1 Corten
  - 2 Flint
  - 3 Timber cladding
  - 4 Sedum
  - 5 Wire balustrade
  - 6 Flue
  - 7 Metal framed window
  - 8 Metal framed door
  - 9 Perforated corten
  - 10 Timber pergula

- 03.04.23 Issued for Planning A.07.09.23 Relinquished for Planning B.11.12.23 Flues to kitchen and annex removed, Flue to living/dining increased in height, Flue to terrace moved horizontally.		JRM: RUT/CATD JRM: RUT/CATD JRM: RUT/CATD JRM: RUT/CATD JRM: RUT/CATD	<b>PL-200</b>  FUR  B
<b>HUDSONArchitects</b> 44000001791220    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk		AC PROPOSED NORTH ELEVATION  1:100 @ A3	



**NORTH ELEVATION**

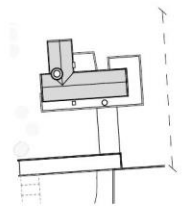


**ELEVATION KEY**

- 1 Corten
- 2 Flint
- 3 Timber cladding
- 4 Sedum
- 5 Wire balustrade
- 6 Flue
- 7 Metal framed window
- 8 Metal framed door
- 9 Perforated corten
- 10 Timber pergula

- 03.08.23 Issued for Planning		<p><b>PL-206</b></p> <p>FUR</p> <p>PLANNING</p> <p><small>Check case of documents. Check all documents are in and report any discrepancies immediately. This drawing is for guidance only.</small></p>
<p>client: <b>RuralGATO</b></p> <p>location: <b>RuralGATO</b></p> <p>address: <b>PE11 3JH</b></p> <p>AC PROPOSED</p> <p>view: <b>NORTH ELEVATION</b></p> <p>scale: 1:100 @A3</p>	<p>HUDSONArchitects</p> <p><small>01553 501700 www.hudsonarchitects.co.uk info@hudsonarchitects.co.uk</small></p>	





**EAST ELEVATION**  
 1:100 @ A3

Borough Council of  
**King's Lynn &  
 West Norfolk**

- ELEVATION KEY**
- 1 Corten
  - 2 Flint
  - 3 Timber cladding
  - 4 Sedum
  - 5 Wire balustrade
  - 6 Flue
  - 7 Metal framed window
  - 8 Metal framed door
  - 9 Perforated corten
  - 10 Timber pergola
  - 11 Gargoyle

- 03.09.23 Issued for Planning A 11.12.23 Flues to kitchen and annex removed, Flue to living room increased in height, Flue to terrace moved horizontally and increased in height		JRM: RUT/CATD JRM: RUT/CATD JRM: PE11 3JH AC PROPOSED JRM: EAST ELEVATION scale: 1:100 @ A3	<p><b>PL-201</b></p> <p>FUR <span style="float: right;">A</span></p> <p>PLANNING</p> <p><small>Check date of approval. Check all documents are valid and report any discrepancies immediately. This drawing is copyright.</small></p>
<b>HUDSONArchitects</b> <small>01553 901100    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk</small>			



**EAST ELEVATION**

1:100 @A3

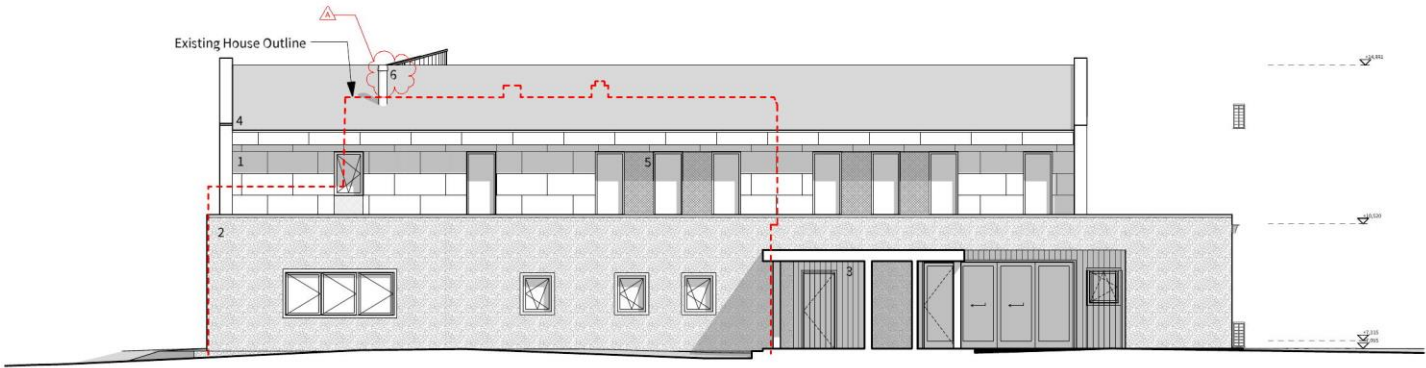


**ELEVATION KEY**

- 1 Corten
- 2 Flint
- 3 Timber cladding
- 4 Sedum
- 5 Wire balustrade
- 6 Flue
- 7 Metal framed window
- 8 Metal framed door
- 9 Perforated corten
- 10 Timber pergula
- 11 Gargoyle

- 03.08.23 Issued for Planning		<p><b>PL-207</b></p>
<p>DATE: 03.08.23</p> <p>BY: RHC/GTD</p> <p>FOR: RHC/GTD</p> <p>AC PROPOSED: EAST ELEVATION</p> <p>SCALE: 1:100 @A3</p>	<p>FUR</p> <p>PLANNING</p> <p><small>Do not copy or otherwise. Check all dimensions on site and report any discrepancies immediately. This drawing is copyright.</small></p>	
<p>HUDSONArchitects</p> <p><small>01553 600770 020 0000 791 020 www.hudsonarchitects.co.uk info@hudsonarchitects.co.uk</small></p>		





**SOUTH ELEVATION**

1:100 @ A3



**ELEVATION KEY**

- 1 Corten
- 2 Flint
- 3 Timber
- 4 Sedum
- 5 Perforated Corten
- 6 Flue

- 02.08.23 Issued for Planning A.11.12.23 Flue to terrace moved horizontally and increased in height		<b>PL-202</b> FUR A
ARCHITECT <b>HUDSONArchitects</b> <small>01509 981 222    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk</small>	JOB NUMBER FUR02020 ADDRESS PEEL 3JH AS PROPOSED VIEW SOUTH ELEVATION SCALE 1:100 @ A3	



**SOUTH ELEVATION**

1:100 @A3

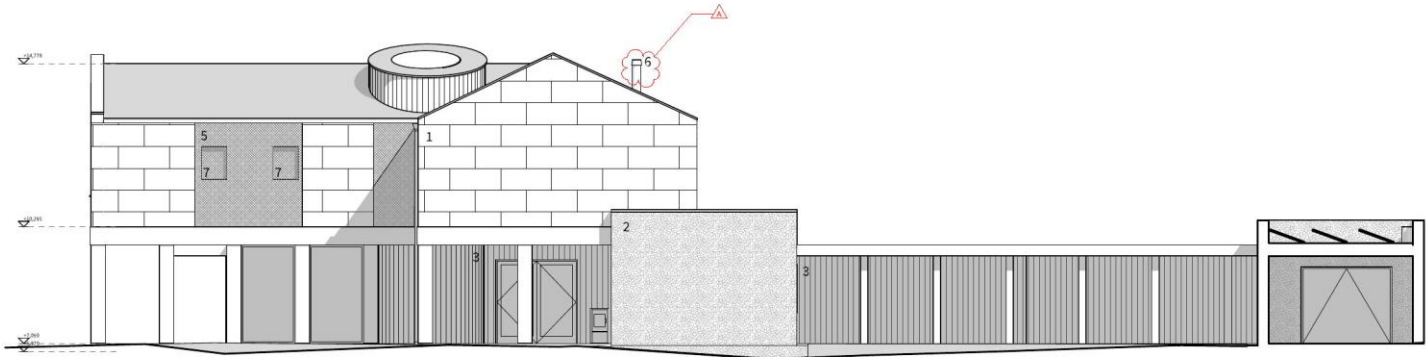


**ELEVATION KEY**

- 1 Corten
- 2 Flint
- 3 Timber
- 4 Sedum
- 5 Perforated Corten
- 6 Flue

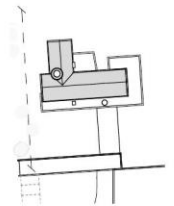
- 03.08.23 Issued for Planning		
DATE:	03.08.23	<b>PL-208</b> FUR PLANNING
PROJECT:	FLINTCOTE	
CLIENT:	PELS 3JH	
TYPE:	AC PROPOSED SOUTH ELEVATION	
SCALE:	1:100 @A3	<small>Do not copy or otherwise disseminate without the prior written consent of HUDSONArchitects. This drawing is copyright ©</small>
HUDSONArchitects <small>4800000 791 020    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk</small>		





**WEST ELEVATIONS**  
1:100 @A3

- ELEVATION KEY**
- 1 Corten
  - 2 Flint
  - 3 Timber
  - 4 Sedum
  - 5 Perforated Corten
  - 6 Flue
  - 7 Obscured Glass

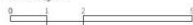


- 03.09.23 Issued for Planning A.11.12.23 Flue to terrace moved horizontally and increased in height		<b>PL-203</b> FUR A
JWB RUTGATE 01783 761134 AC PROPOSED WNW WEST ELEVATIONS scale 1:100 @A3	HUDSONArchitects 48-50 BRIDGE STREET KING'S LYNN, NORFOLK PE11 3JH 01553 719122 <a href="http://www.hudsonarchitects.co.uk">www.hudsonarchitects.co.uk</a> <a href="mailto:info@hudsonarchitects.co.uk">info@hudsonarchitects.co.uk</a>	



WEST ELEVATIONS

1:100 @A3

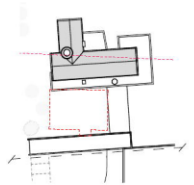
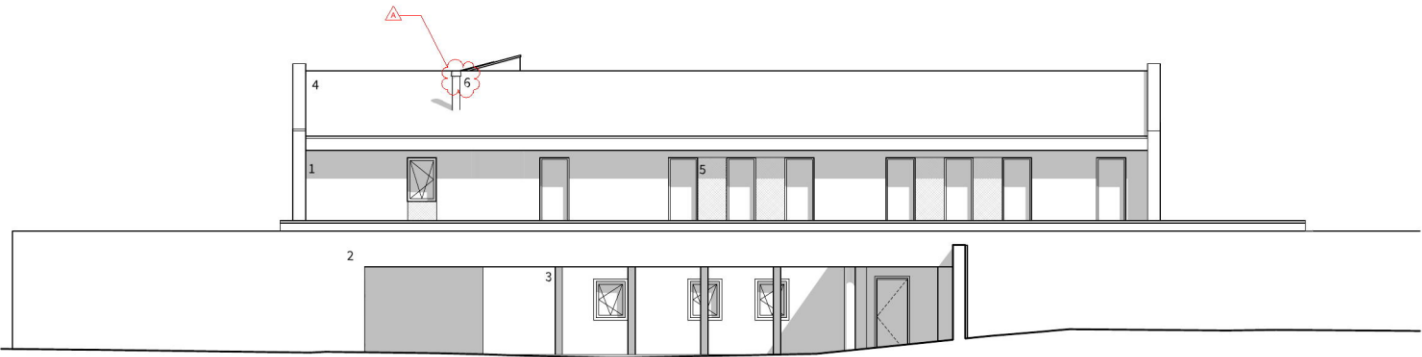


ELEVATION KEY

- 1 Corten
- 2 Flint
- 3 Timber
- 4 Sedum
- 5 Perforated Corten
- 6 Flue

- 03.09.23 Issued for Planning		<p><b>PL-209</b></p> <p>FUR</p> <p>PLANNING</p> <p><small>Check case of documents. Check all documents are in and report any discrepancies immediately. This drawing is unapproved.</small></p>
<p>DATE: 03.09.23</p> <p>PROJECT: FUR</p> <p>CLIENT: PE13 9JH</p> <p>AC PROPOSED: WEST ELEVATIONS</p> <p>SCALE: 1:100 @A3</p>	<p>DATE: 03.09.23</p> <p>PROJECT: FUR</p> <p>CLIENT: PE13 9JH</p> <p>AC PROPOSED: WEST ELEVATIONS</p> <p>SCALE: 1:100 @A3</p>	





**FRONT ELEVATION**  
1:100 @A3

Borough Council of  
**King's Lynn &  
West Norfolk**

- ELEVATION KEY**
- 1 Corten
  - 2 Flint
  - 3 Timber
  - 4 Sedum
  - 5 Perforated Corten
  - 6 Flue

- 03.04.23 Issued for Planning A.11.12.23 Flue to terrace moved horizontally and increased in height		<b>PL-204</b> FUR A
job: FURCATED address: PE11 3JH use: AC PROPOSED view: FRONT ELEVATION	PLANNING	
HUDSONArchitects <small>48/50/52/54/56/58/60/62/64/66/68/70/72/74/76/78/80/82/84/86/88/90/92/94/96/98/100</small>		<small>Drawn upon 03.04.23 Issued for Planning. Check all dimensions, levels and report any discrepancies immediately. This drawing is unapproved.</small>



FRONT ELEVATIONS

1:100 @A3

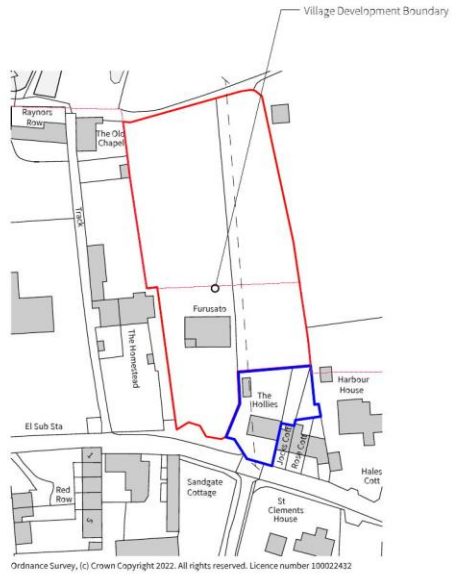


ELEVATION KEY

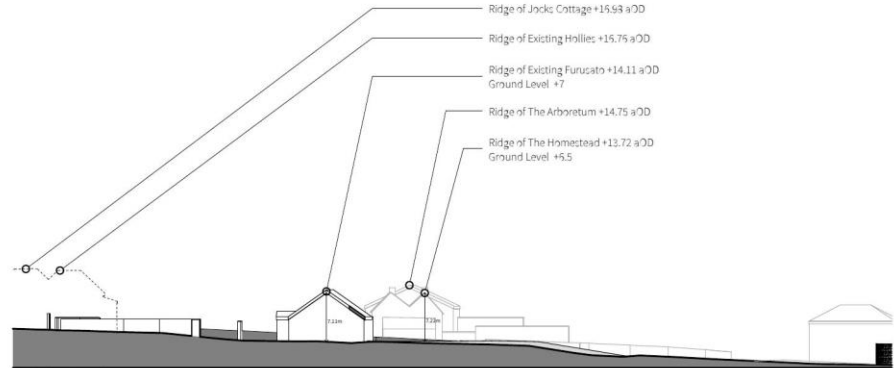
- 1 Corten
- 2 Flint
- 3 Timber
- 4 Sedum
- 5 Perforated Corten
- 6 Flue

- 03.09.23 Issued for Planning		<b>PL-210</b>
DATE:	03.09.23	
PROJECT:	FLINTGATE	FUR
CLIENT:	PELS 3JH	PLANNING
ARCHITECT:	AC PROPOSED	
SCALE:	FRONT ELEVATIONS	
DATE:	1:100 @A3	
HUDSONArchitects <small>4800000 791 020    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk</small>		<small>Check each of drawings. Check all dimensions in situ and report any discrepancies immediately. This drawing is unapproved.</small>

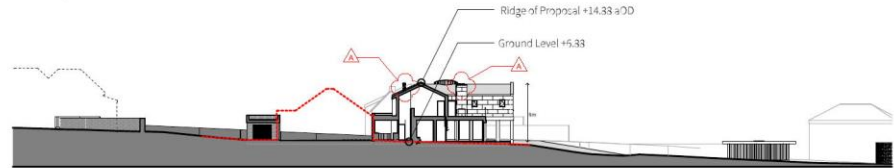




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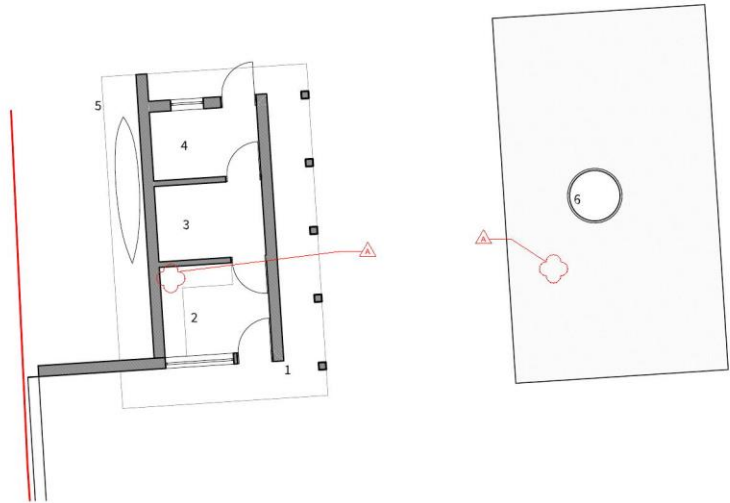
Existing Section



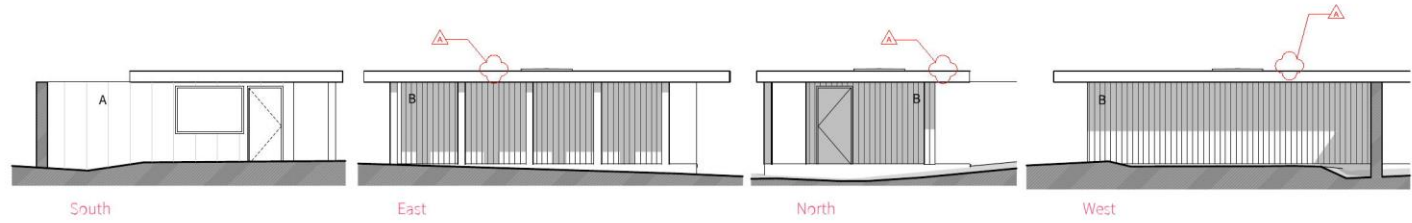
Proposed Section



- 07.09.23 Issue for Planning A 11.12.23 Flues to Kitchen, Flue to living room increased in height, Flue to terrace moved horizontally and increased in height, Ground levels added	jw Furusato	<b>PL-302</b>
	Furusato PE13 3JH	
	AC PROPOSED SECTION C	A
	HUDSONArchitects 1590, 1-1250-9A3	PLANNING



- SUMMER PAVILLION  
PLAN**
- 1 Veranda
  - 2 Sauna
  - 3 Wetroom
  - 4 Store
  - 5 Boat rack
  - 6 Rooflight



**SUMMER PAVILLION  
ELEVATIONS**  
A Corten  
B Timber

- 03.09.23 Issued for Planning A.11.12.23 Flue to summer pavillion removed		<b>PL-400</b>  FUR <span style="float: right;">A</span>
001: FURC400 002: FURC400 003: PE11.3JH	AC PROPOSED 004: SUMMER PAVILLION	
<b>HUDSONArchitects</b> <small>4850007 791 020    www.hudsonarchitects.co.uk    info@hudsonarchitects.co.uk</small>		<small>Check case of documents. Check all documents include and report by the respective individuals. This drawing is copyright.</small>











Entrance to site showing existing dwelling



**Looking east towards neighbouring property  
(The Hollies, in the same ownership as site)**







Existing dwelling





Looking southeast from front of site







Looking south from front of site



Looking west from front of site





**Southern and eastern elevations of The Homestead**

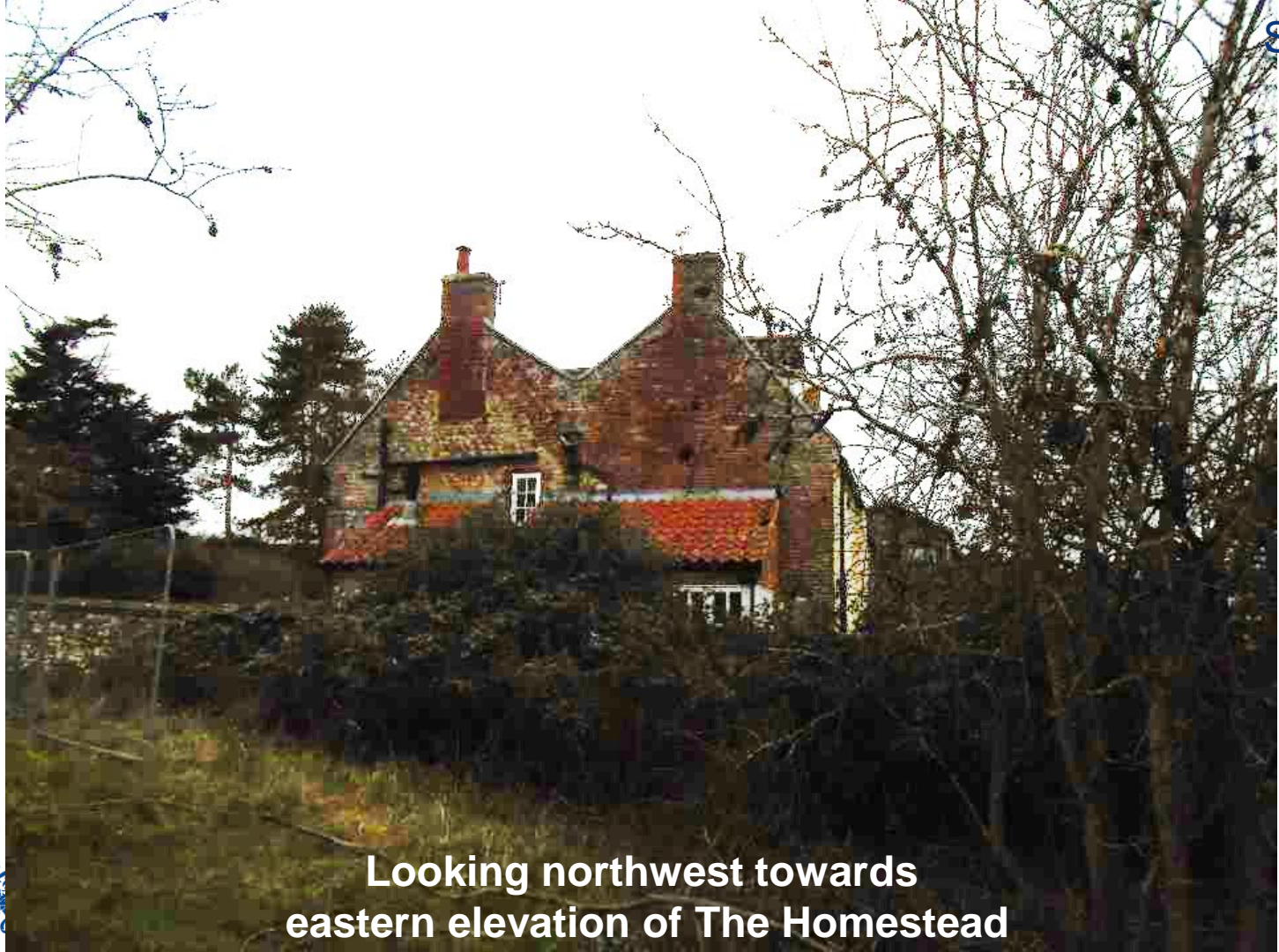




Rear of existing dwelling









Looking east from rear of site













Looking west from rear of site





**Looking northwest from rear of site towards  
The Arboretum and The Homestead**









View from North





# Speaker Slides Don Mackenzie





# Furusato – Objections

- We made several significant changes (based on feedback) prior to Planning submission
- Have worked with Planning throughout the process to address concerns
- We also asked to participate in a Parish Council meeting to explain the project and to hear from the Village
- We have received in person support from many in the Village

# Furusato Design and Sea Wall View

- House fits in with surrounding colours and palette in the Village
  - Sea Wall view is a blend of houses of different periods, sizes and styles
  - Use of flint and earth tone colours
  - Cor-ten has been used in other coastal sites
  - Design and materials supported by Conservation Officer
  - Is replacing views of an unsightly, derelict house and neglected garden



# Current View Shows Blend of Architectural Styles and Screening in Front of Furusato



## Furusato - Size

- Sits on the rear Southern portion of the lot
- In line with neighbouring houses to the West
- Is on a large plot (1.2 acres)
- Is slightly smaller than neighbouring house (Arboretum) and proposed other new house on Wells Road



# Furusato - Landscaping

- We are working on a robust landscaping plan with landscape architect
- We plan to add more trees and shrubs to allow screening and to beautify the property
- Screening is important for privacy and to beautify the view from the Coast Path
- We do not need unobstructed views of the Coast

# Furusato – Village Development Boundary

- Furusato is a replacement dwelling
  - 2/3 of house is within the VDB
  - Burnham Overy Parish Council previously approved a 2 storey extension (Windy Nook), completely outside the VDB
  - Neighbour to our East has pavilion and tennis court outside the VDB
  - If we did align Furusato within the VDB, it would overlook the neighbours house from the South and reduce privacy for us and the neighbours
  - At the time of purchase, a developer was planning to build 4 houses on the lot – we are building one energy efficient, sustainable single family home



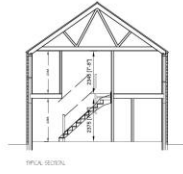
23/01438/F



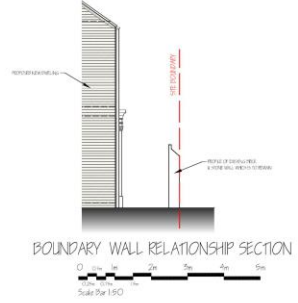
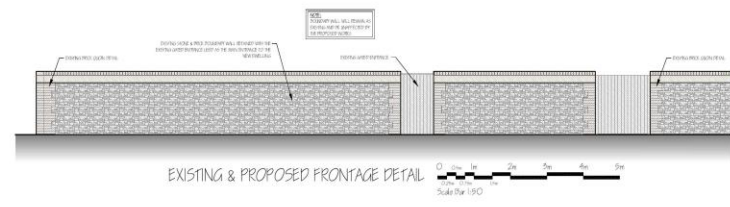




PROPOSED NEW RESIDENTIAL DWELLING  
MOUNT TABOR, BRIDGE STREET, DOWNHAM MARKET PE38 9DW



- GENERAL PROJECT NOTES:**
- All materials & products specified are to be installed in complete accordance with manufacturers details, but instructions & recommendations.
  - All works carried out are to comply with current British Standards, Codes of Practice, Agreement Certificates & current building regulations.
  - Alternative materials to those specified may be used by the contractor provided it is the responsibility of the contractor to ensure that the replacement materials comply with current British Standards, building regulations and are suitable for the proposed use.
  - Any conflicting information is to be confirmed prior to commencement of the works, no responsibility can be accepted for dimensions stated on drawings and the building contractors are expected to check all dimensions and details prior to commencement of the works on site.
  - No responsibility can be taken for any works commenced on site prior to the approval of the local planning and building regulations being granted. Any works therefore carried out are undertaken entirely at the contractors' (clients) risk.
  - Any elements within an existing structure which will be subject to additional loading by the proposals are to be checked for suitability prior to commencement of the works.
  - All works adjacent to a site boundary or within 3m of a party wall must not be commenced without the neighbour being informed in writing & the relevant permissions obtained under the Party Wall Act 1996.
  - The main contractor is responsible for the design, installation and maintenance of any temporary works deemed necessary to ensure the stability of the existing structure throughout the duration of the works.
  - No variation to the design indicated on the project drawings are to be carried out without written approval from district COUNCILING W/L and approval from the relevant planning authority and building regulations approval were applicable.
  - Any existing underground damage shown or implied is assumed and must be verified by testing and specific site excavation by the contractor before works commence.



THE REGISTER OF THE LAYERS NAME  
 APPROVED AND AUTHENTICATED  
 REGISTERED ARCHITECT & ARCHITECTS  
 23/01438/F  
 CA1001  
 23/01438/F



Front of site with historic wall. Former Methodist Church to left





Street scene of Church Road. Verdant site





Street scene of Church Road looking south





View of site from west. Large trees in foreground about the site boundary





South west corner of the site as seen from neighbouring property to south





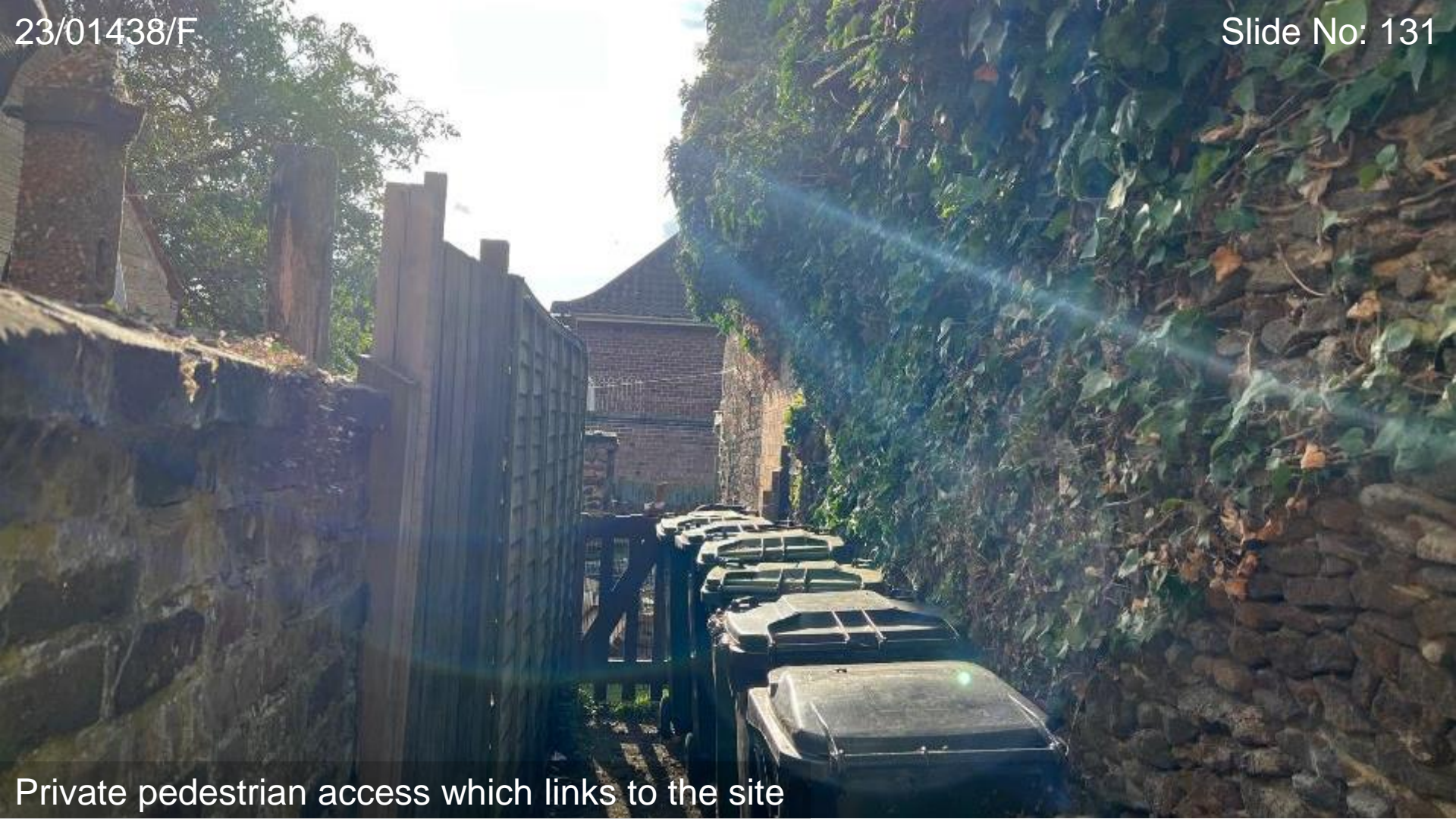
Side elevation of former Methodist Church as viewed from rear of Priory House





Looking towards the site from the south east.





Private pedestrian access which links to the site

23/00879/F







# Proposed Site Plan

Borough Council of  
King's Lynn &  
West Norfolk



Site Plan 1:200  
SCALE REFERENCE BAR 0 5 10

**IAN · H · BIX Associates Ltd**  
M · C · I · A · T  
ARCHITECTURAL AND BUILDING CONSULTANTS  
SUNNINGDALE, 101-103, WEST WOOD, KING'S LYNN, NORFOLK PE32 6DT. TEL: 01553 844077 FAX: 01553 844076

**Project**  
Proposed Conversion to Dwelling at Land North-East of Apple Tree Cottage  
Sallers Lode  
Downham Market

**Drawing Title**  
Proposed Site and Location Plan

**Notes**  
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**Scale** 1:200 & 1:1250 @ A1  
**Date** December 2022  
**Drawn** AM  
**Drawing No.** 2520-01C

**Level Notes**  
Site levels to remain unchanged.







Site as viewed from the front from The Lane. Appletree cottage to left





Street scene of The Lane looking south west





Street scene of The Lane looking north east





Closer view of the front of the proposed dwelling





View of the spatial relationship between the dwellings.





In the rear garden looking towards the rear of the proposed dwelling





East boundary fence which subdivides proposed dwelling from the donor dwelling





Looking northwest towards the rear of the proposed garden, existing outbuilding





Standing in the private drive looking towards rear of proposed dwelling





View of private drive and relationship with surrounding dwelling



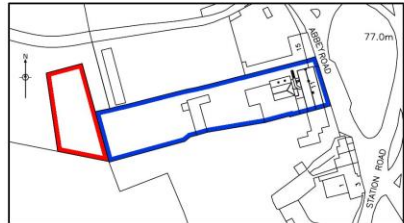
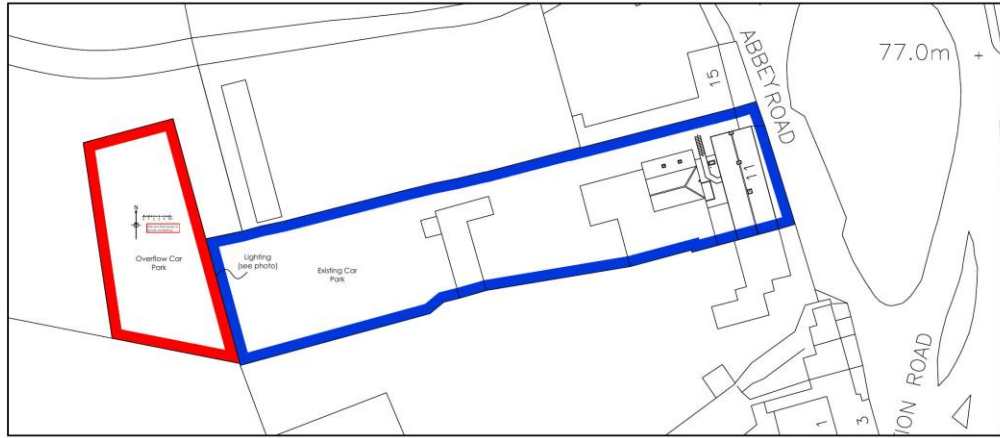
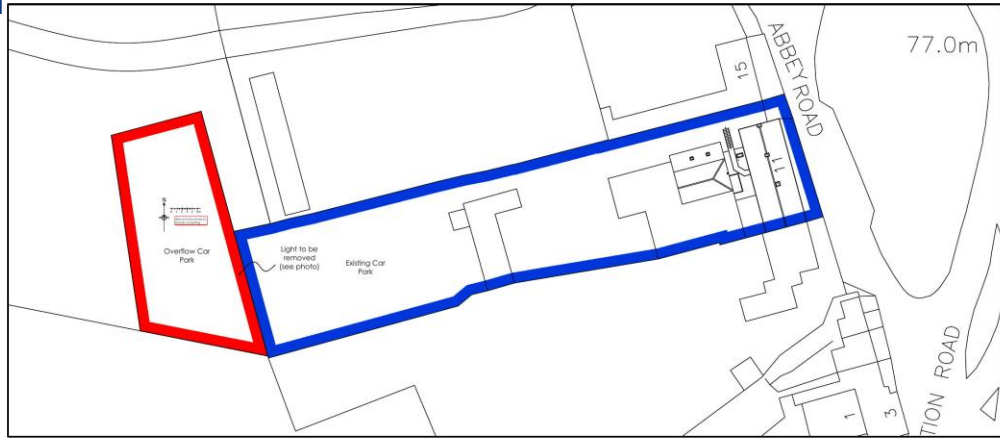


View from the private drive out onto the A1122

23/00173/F







Revision	Date	Description
 <b>VERTEX ARCHITECTURE</b> <small>info@vertexarchitecture.co.uk   01485 832266   www.vertexarchitecture.co.uk                      23 Northgate Road, Norwich, Norfolk PE3 6BA</small>		
Project: The Dabbling Duck, 11 Abbey Road, Great Masingham, Norfolk, PE32 2HN		
Subject: Extension & Alterations Overflow Car Park		
Date: August 2023	Scale: 1:500, 1:1250 @A2	
Project No: 22183	Drawing No: 01	Revision: B

23/00173/F

Slide No:  
148







Existing car park area



Proposed access to overflow car park





View from car park east towards existing



Houses at Abbeyfields to north of site





Immediately south of site, rear of domestic gardens





View across fields to south west, rear of houses at Lynn Lane visible





Rear of houses at Lynn Lane

# Speaker Slides Linda C Swallow







Overview of the area sectioned off by the applicant,  
taken on 24/7/2019 at 17.08





Marquees for charity ball plus vehicles using all the sectioned off area 18/5/2019 18.06





Seating for meadow bar area, Lynn Lane properties in background 12/4/21 12.51





Remains of seating area for meadow bar, some metal posts still fixed in the ground, Lynn Lane in the background  
15/5/23 11.47







Vehicles parked outside red line with headlights facing Lynn  
Lane properties 22/4/23 19.28 Note red van









Vehicles parked right alongside the crops, no physical boundary. Tall light base just visible 8/4/23 18.35





Red van regularly parked overnight, vehicles beyond red line.  
Lynn Lane bungalows in background houses visible to the  
right 29/4/23. 19.38





Breakfast at the camper van, another overnighter putting suitcases in the boot, crops are high 10/7/23 10.18



Finishing breakfast at the camper van, red van again and tall light 10/7/23. 10.23







Overnight parking 9 vehicles including red van, some beyond red line area. Tall light 24/9/23 07.47



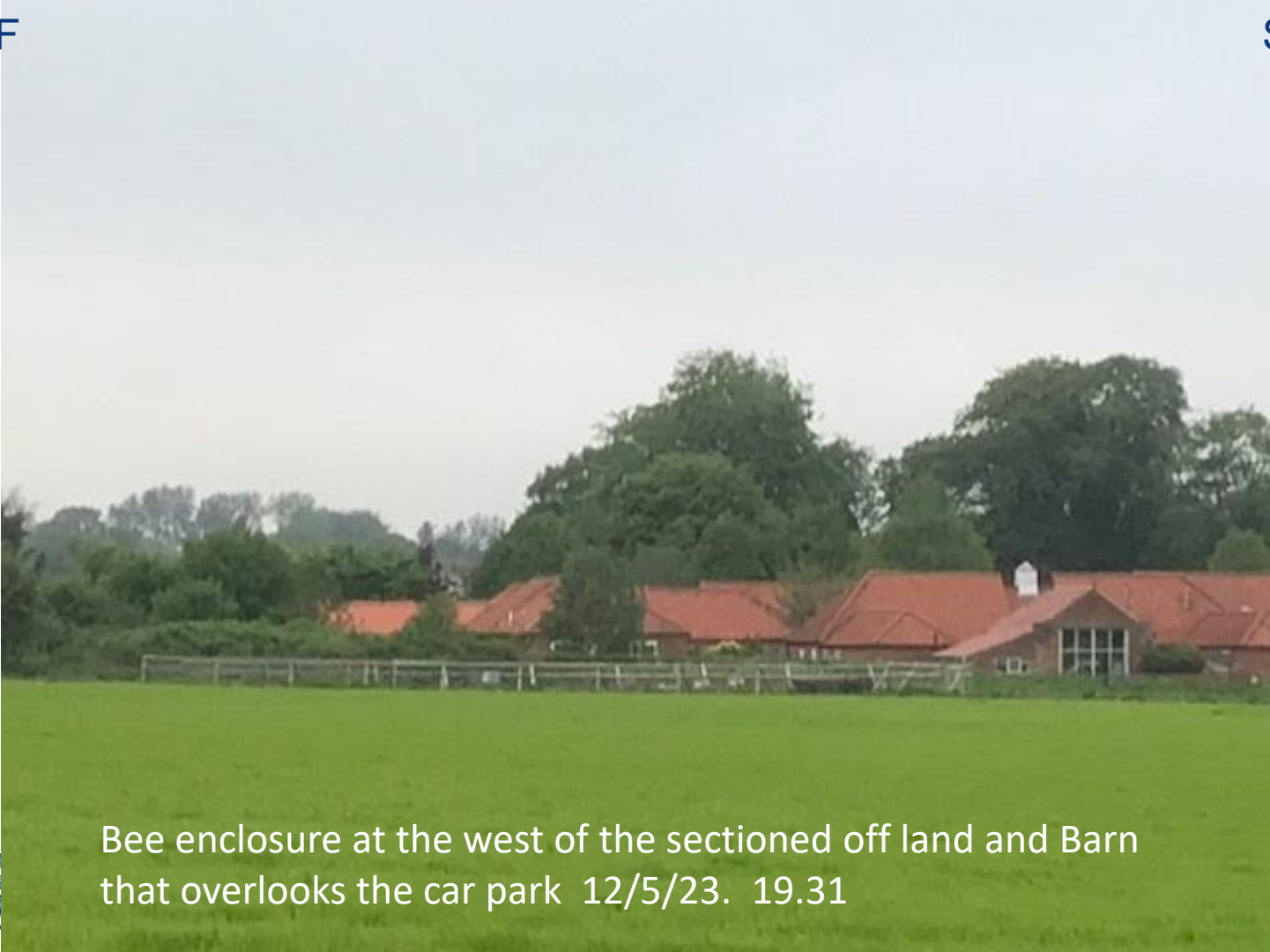






Collection of vehicles including red van, some parked  
beyond red line, tall light 30/4/23 17.31





Bee enclosure at the west of the sectioned off land and Barn  
that overlooks the car park 12/5/23. 19.31









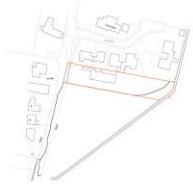


23/01485/F





Existing Site Plan



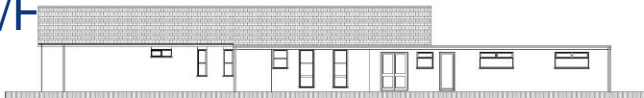
Location Plan

Notes:  
 1. This drawing is a site plan and does not show any proposed works.  
 2. The site plan is based on the information provided by the applicant.  
 3. The site plan is not to scale.  
 4. The site plan is not to be used for any other purpose.  
 5. The site plan is not to be used for any other purpose.  
 6. The site plan is not to be used for any other purpose.  
 7. The site plan is not to be used for any other purpose.  
 8. The site plan is not to be used for any other purpose.

	
<b>King's Lynn &amp; West Norfolk Borough Council</b> Planning Department 100, King's Lynn Road, King's Lynn, Norfolk, PE30 1AA	
<b>Client:</b> Regenes Horfolk Group	
<b>Project:</b> 23/01485/F - Car Park, 23/01485/F - Site 23	
<b>Drawing Title:</b> Existing Site Plan & Location Plan	
<b>Project No.:</b> 23/01485/F	<b>Date:</b> 11th April 2023
<b>Scale:</b> 1:1000	<b>Author:</b> [Name]
<b>Check:</b> [Name]	<b>Approved:</b> [Name]



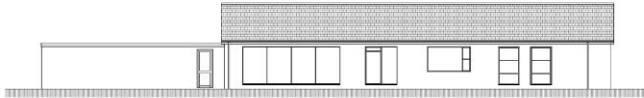




LEFT SIDE ELEVATION



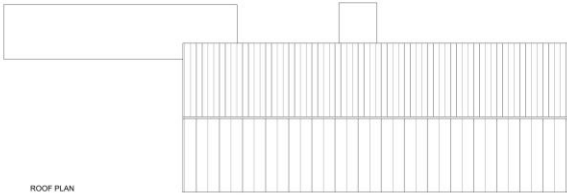
REAR ELEVATION



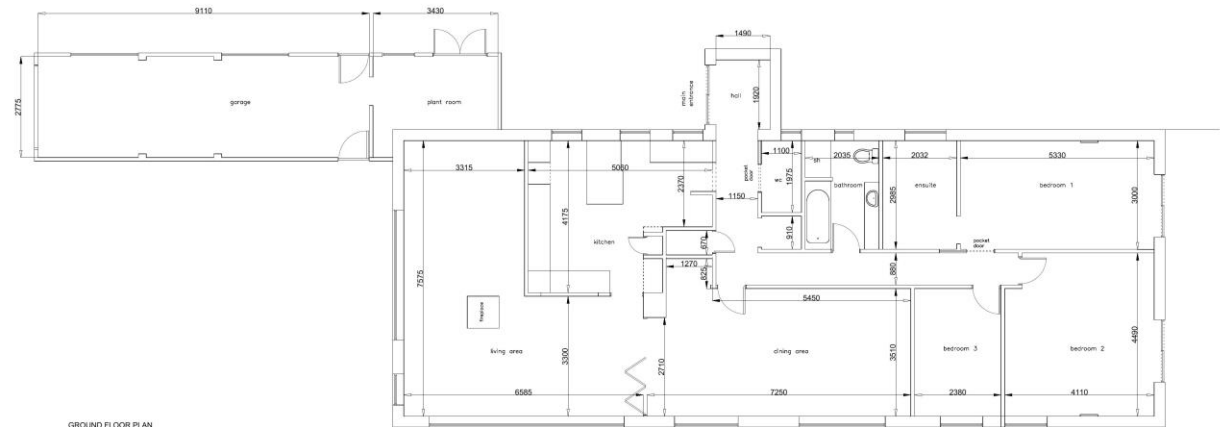
RIGHT SIDE ELEVATION



FRONT ELEVATION



ROOF PLAN



GROUND FLOOR PLAN

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 City use indicated dimensions.  
 Ensure all pre-commencement Planning Conditions  
 are fulfilled prior to commencing work on site.  
 Ensure any C.O. Payments are completed prior  
 to commencing work on site.  
 Ensure EOM 2015 Requirements have been fulfilled  
 prior to commencing work on site.

A. Rev. Roof Plan Added

64-68 Westwick Street  
 Norwich  
 NR2 4BT  
 t: 01603 25888  
 e: info@norwich-architects.com

Client:  
 Bespoke Norfolk Group

Project:  
 27 Lily Carr Road, North Wootton.

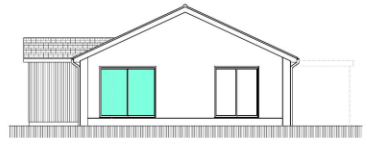
Drawing Title:  
 Existing Floor Plan & Elevations

Project No: NA-227	Scale: 1:10 & 1:100
Drawing No: L15-001-N-1-A	Date: April 2023



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are discharged prior to commencing work on site.  
Ensure any CIL Payments are completed prior  
to commencing work on site.  
Ensure CDM 2015 Requirements have been fulfilled  
prior to commencing work on site.



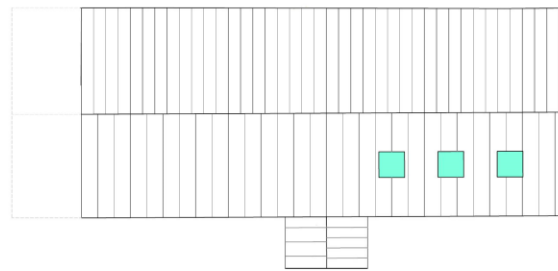
RIGHT ELEVATION



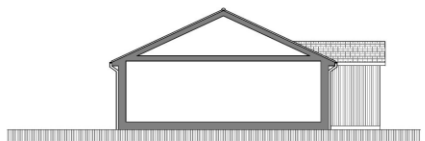
LEFT ELEVATION



FRONT SIDE ELEVATION



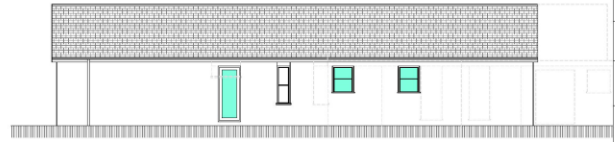
ROOF PLAN



BUILDING SECTION




GROUND FLOOR PLAN



REAR SIDE ELEVATION

- F. Minor Amendment to Clients Request
- E. Minor Amendment to Clients Request
- D. Minor Amendment to Clients Request
- C. Minor Amendment to Clients Request
- B. Minor Amendment to Clients Request
- A. Minor Amendment to Clients Request
- Rev.



**64-66 Westwick Street  
Norwich  
NR2 4SZ  
mob: 07810332098  
email: nigel.cooper@norwicharchitects.com**

**Client :**  
Bespoke Norfolk Group

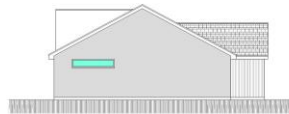
**Project :**  
27 Little Carr Road, North Wootton.

**Drawing Title:**  
Proposed Ground Floor Plan  
& Elevations

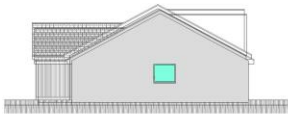
Project No. NA-224	Scale 1:100
Drawing No. MS-D-N-02 F	Date March 2023



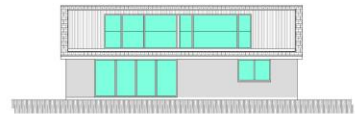
BUILDING SECTION



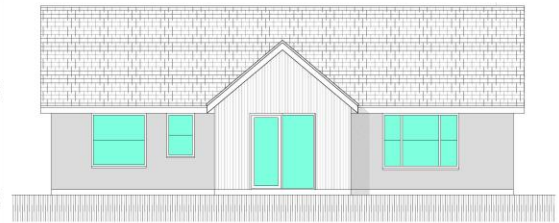
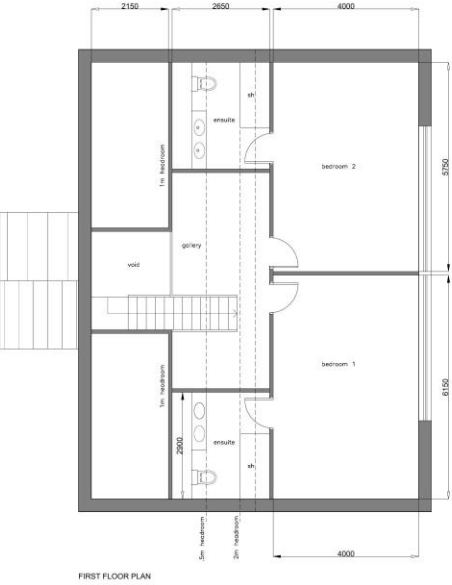
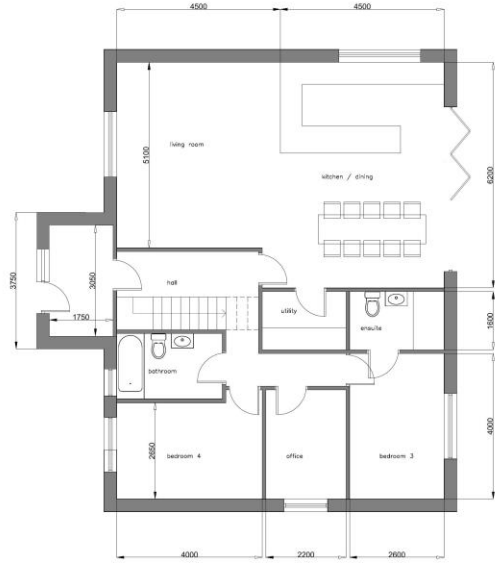
RIGHT SIDE ELEVATION



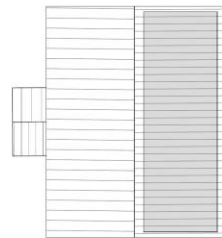
LEFT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION



ROOF PLAN

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D: Minor Amendment to Plans Required  
 P: Full Amendment to Plans Required  
 A: Major Amendment to Plans Required  
 R: No Amendment to Plans Required



64-68 Westwick Street  
 Norwich  
 Norfolk  
 NR1 3JH  
 Tel: 01603 266666  
 Email: info@bespoke-norfolk.com

<b>Client:</b> Bespoke Norfolk Group	
<b>Project:</b> 27 Little Carr Road, North Wootton, Norfolk	
<b>Drawing Title:</b> Proposed Floor Plans & Elevations - Plot 2 (1905QM)	
<b>Project No.:</b> NA-207	<b>Scale:</b> 1:50 & 1:100
<b>Drawing No.:</b> LCK/ARV/NE3-D	<b>Date:</b> June 2020















Looking south towards site





Looking west from site entrance towards Aycliffe





Looking north from site entrance





Looking north from within site towards nos 1 and 2 Heather Close





Looking west from within site





Looking southwest from within site towards Devon Crescent





Looking south from within site





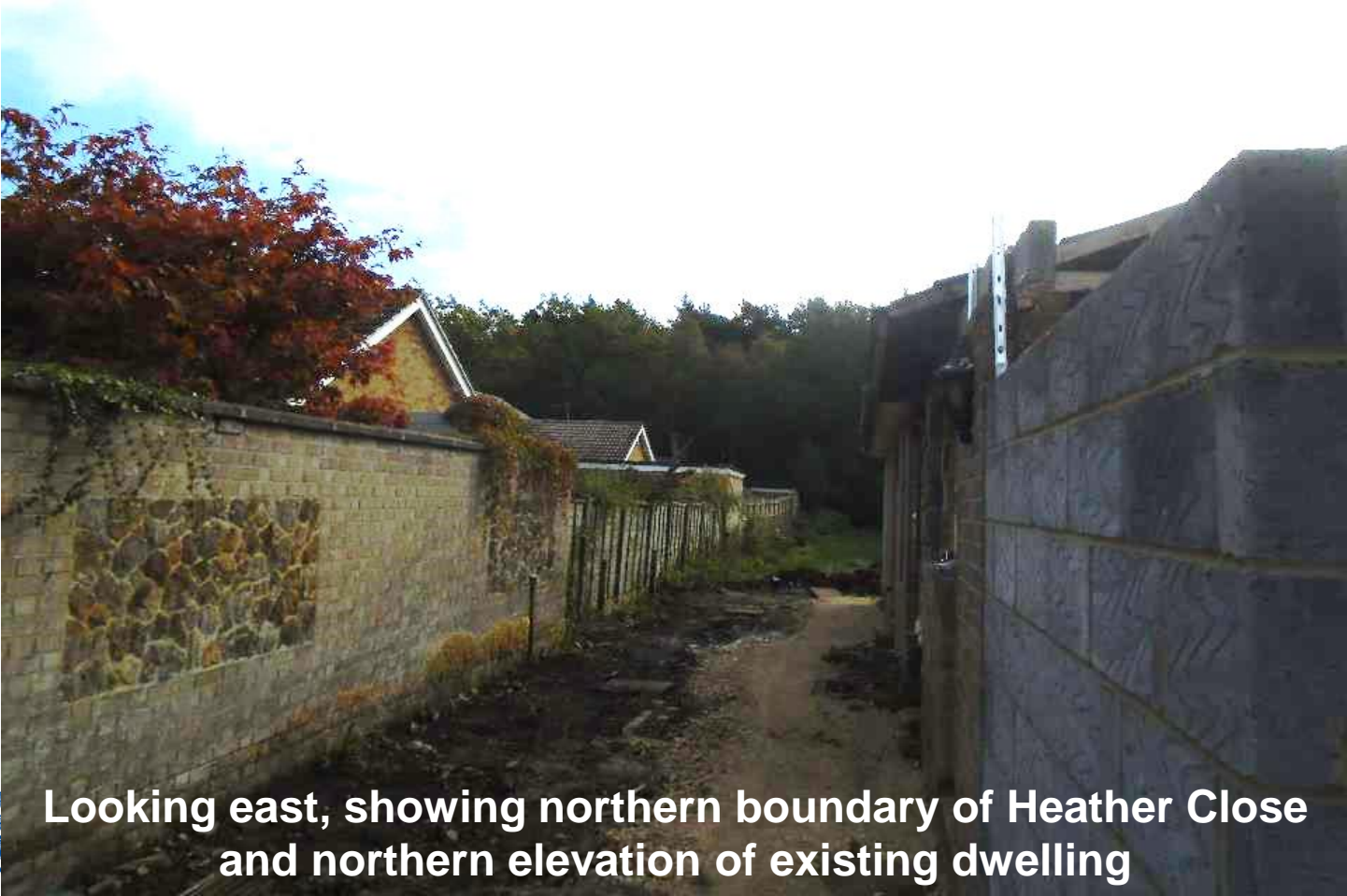


**Looking east from within site towards existing dwelling  
also shows northern boundary with Heather Close**









**Looking east, showing northern boundary of Heather Close and northern elevation of existing dwelling**













**Looking northeast from within eastern part of site**







**Looking north from within eastern part of site showing eastern elevation of existing dwelling and southern elevation of 3 Heather Close**



Looking west from within eastern part of site



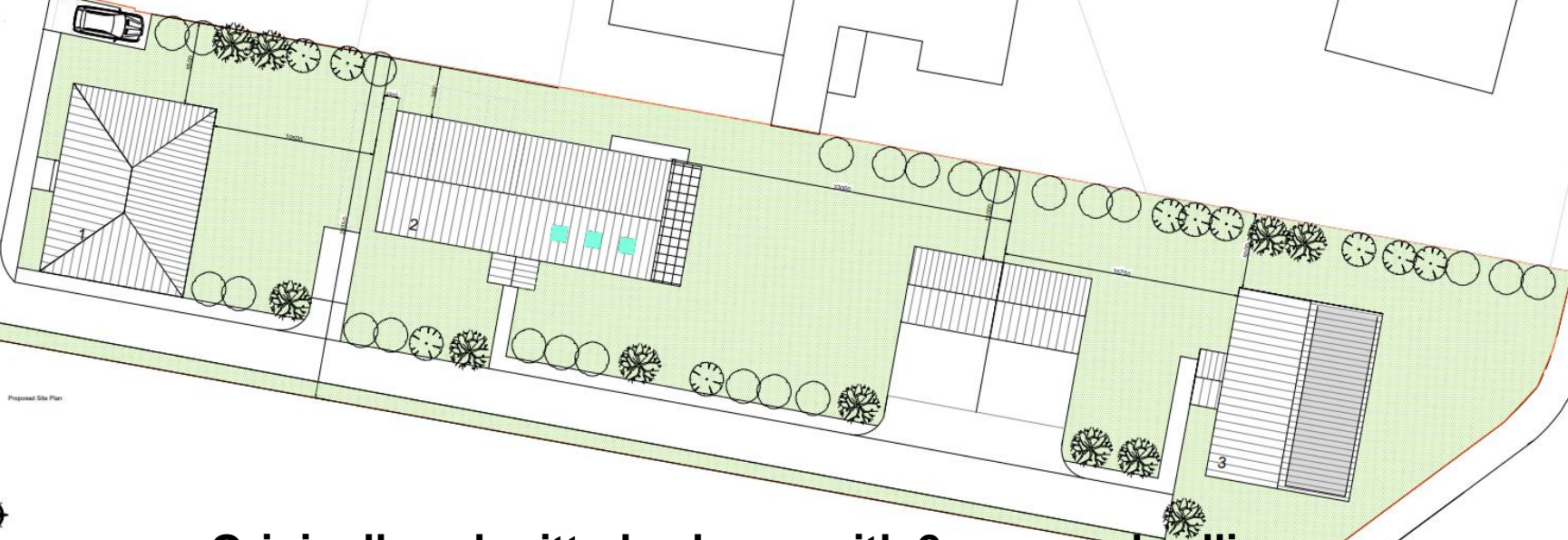


**Works to existing dwelling**

HEATHER CLOSE

LITTLE CARR ROAD

Public right of way



Proposed Site Plan



**Originally submitted scheme with 2no. new dwellings**



# Speaker Slides

## Margaret

### Doubleday



# MAIN ISSUES



## TREES

Approximately 30 mature trees were cut down before the site was assessed which has caused major issues with flooding to gardens and woodland and plot being built on



## REPLANTING OF TREES

Proposed replanting of 25 trees on site – no care has been taken to avoid root disruption to all houses on heather close – will destroy gardens and even houses in years to come as planted right next to boundary.



## OVERLOOKING/SHADING

Both plots overlook current bungalows, especially new plot being proposed as it is a chalet bungalow when all on heather close that it overlooks are bungalows. Massive issue with shading from new trees once fully grown as well – bungalows were not previously subjected to this as previous trees were far from boundary



## NOISE

Constant generator noise before 8am all day up until 5pm and sometimes on weekends. Causing mass disruption to a quiet street. Neighbourhood concerned about prolonged noise



## FLOODING

Caused major flooding and drainage issues since took down 30+ mature trees. Lack of foresight and planning. Flood maps show high risk of ground water flooding – as shown by previous objections on portal.



## PUBLIC LAND

Proposed site is being built over public land. PROW has been ruined by taking down trees, cars/vans parked on, fence covering it for months and hardcore being placed.





# FLOODING ISSUES

- Constant water drainage issues – drainage proposed won't be enough to combat these. Trees that used to exist here soaked up a lot but now all gone
- Since October whole site has been under at least 4 inches of water – including gardens of houses on heather close
- Actual water drainage pipes on heather close are damaged and Anglian water won't replace, get constantly blocked – 6 times in a year in 2023, if these new houses connected then it will be worse.



August 2023 – After one 2-hour rainfall



January 2024 – large amounts of standing water on site



# 23/01485/F PUBLIC RIGHT OF WAY

Slide No:  
204

- PROW has been completely changed and ruined even though highways agency report states should be unchanged throughout
- Using large area of public land to build a road which could mainly be built on site now site has been reduced to 2 houses
- Removal of trees and constant parking has ruined PROW and hardcore has been placed down already – flooded constantly and unusable
- Fence was cutting off large section of PROW until parish council meeting – this was for months



Cars constantly parked on PROW and pavement and grass



Flooded constantly due to trees cut down



Hardcore placed on PROW and ruined PROW



Fence over public land for approx. 4 months



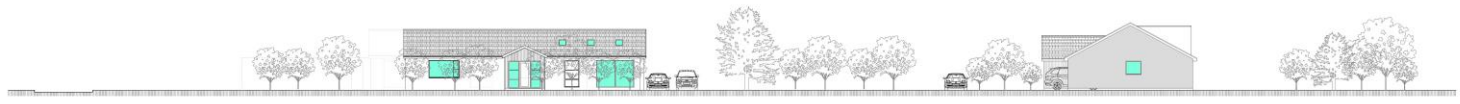
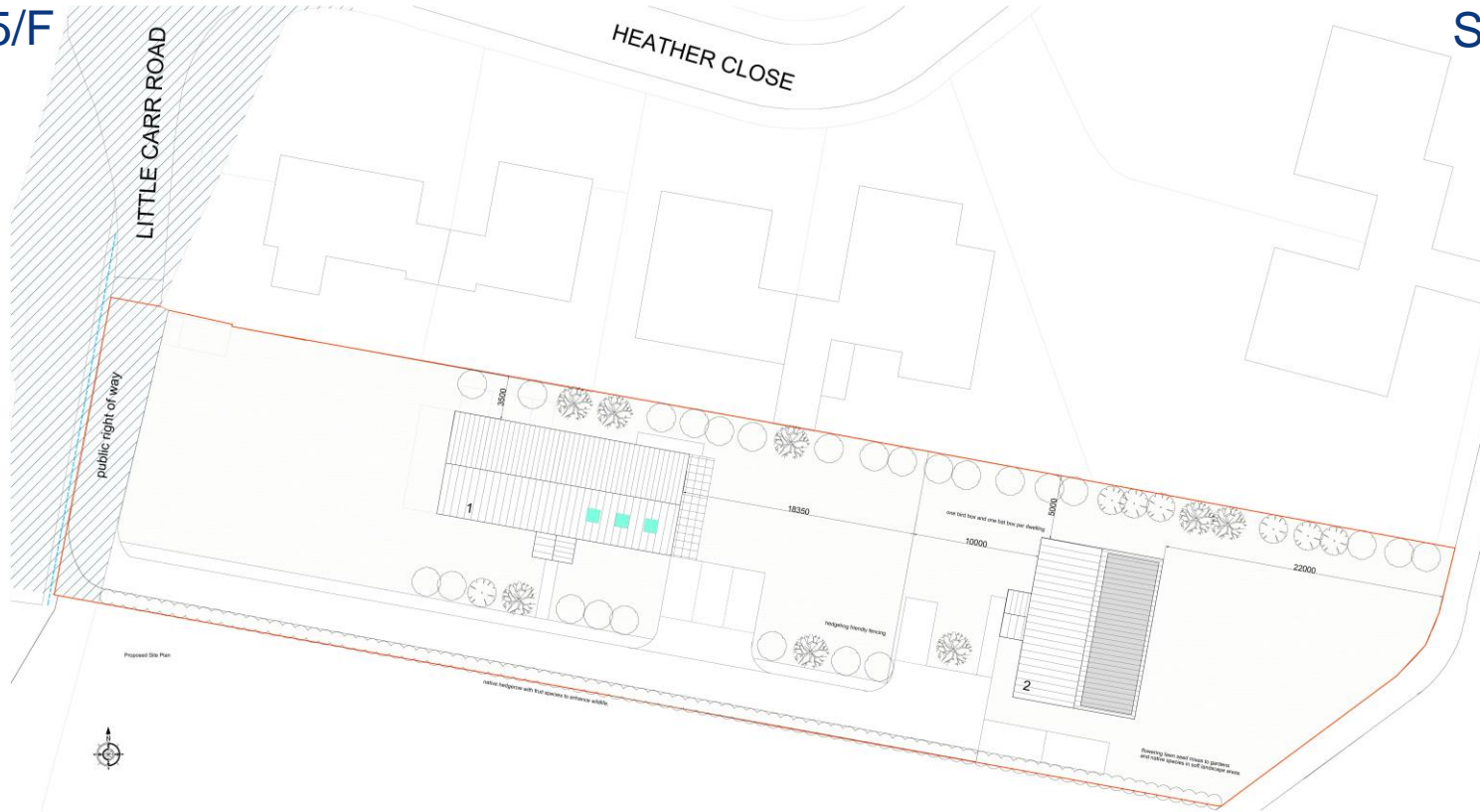


# Speaker Slides

## Cllr

# Richard Coates





**Proposed Site Elevation**

Notes:  
 1. This elevation is based on the information provided in the planning application and is not a guarantee of the final appearance of the development.  
 2. The elevation is subject to change without notice.  
 3. The elevation is not to scale.  
 4. The elevation is for information only and does not constitute an offer of any services or products.  
 5. The elevation is not to be used for any other purpose without the written consent of the Borough Council of King's Lynn & West Norfolk.

**Client:** Bopcon Norfolk Group  
**Project:** FV Little Carr Road, King's Lynn, Norfolk  
**Drawing Title:** Proposed Site Plan & Site Elevation

Rev	Description	Date
01	Issue for Planning	11/08/2023
02	Issue for Planning	11/08/2023
03	Issue for Planning	11/08/2023
04	Issue for Planning	11/08/2023
05	Issue for Planning	11/08/2023
06	Issue for Planning	11/08/2023
07	Issue for Planning	11/08/2023
08	Issue for Planning	11/08/2023
09	Issue for Planning	11/08/2023
10	Issue for Planning	11/08/2023
11	Issue for Planning	11/08/2023
12	Issue for Planning	11/08/2023
13	Issue for Planning	11/08/2023
14	Issue for Planning	11/08/2023
15	Issue for Planning	11/08/2023
16	Issue for Planning	11/08/2023
17	Issue for Planning	11/08/2023
18	Issue for Planning	11/08/2023
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22	Issue for Planning	11/08/2023
23	Issue for Planning	11/08/2023
24	Issue for Planning	11/08/2023
25	Issue for Planning	11/08/2023
26	Issue for Planning	11/08/2023
27	Issue for Planning	11/08/2023
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44	Issue for Planning	11/08/2023
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46	Issue for Planning	11/08/2023
47	Issue for Planning	11/08/2023
48	Issue for Planning	11/08/2023
49	Issue for Planning	11/08/2023
50	Issue for Planning	11/08/2023





View of site from South West Corner











Please be advised:-

- The attached plan is to scale when printed on A4 unless stated otherwise.
- This plan shows highway boundary data in relation to physical features plotted by Ordnance Survey.
- Measurements scaled from this plan may not match measurements between the same points on the ground.
- Green hatching represents publicly maintainable highway in the meaning of the Highways Act 1980.
- Areas without green hatching may still be public highway that has not been researched, verified or recorded.
- Only the green hatching surrounding the requested area of interest has been verified.
- This data is valid at date of publication and can be subject to change.
- This data is intended for use by the recipient only and should not be passed to third parties.
- For drainage ditches that have never been depicted on any OS mapping and that have subsequently been found to have been piped, the highway boundary line will change to the approximate road-side edge of the original drainage ditch as no highway rights can be proved to have been established on the land occupied by the drainage ditch. The adjacent landowner will most likely be the riparian owner of the drainage ditch (open or piped) and the land that it occupies will be regarded as private.
- Please direct all highway boundary enquiries to [highway\\_boundaries@norfolk.gov.uk](mailto:highway_boundaries@norfolk.gov.uk)





Public Right of Way – North  
West Corner







North West Corner

22/00267/F







3.3 Panels should be supported on the inner side by stabiliser struts which should normally be attached to a base plate and secured with ground pins. Where the fence will be erected on hard surfacing or it is otherwise unfeasible to use ground pins the struts should be mounted on a block tray.

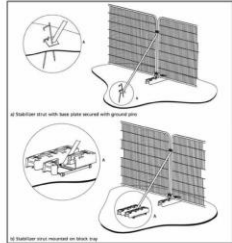


Fig 1: Temporary protective fencing as recommended by the British Standards (BS12).

3.4 Figure 1 is an extract from BS5837:2012 showing the method of supporting the panels with ground pins and a block mounted tray for use on hard surfaces. Stabiliser struts should be fitted at each panel junction.

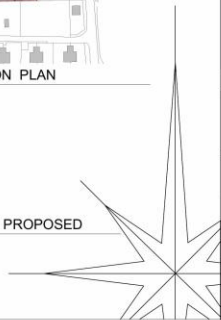
3.5 At least 30 all-weather notices should be erected on the barriers forming each CEZ using "Construction Exclusion Zone - No Access". These should face outwards towards the work area. Signs must be maintained in good condition and remain in place until completion of the works.

3.6 Barriers will be maintained throughout the duration of the works, ensuring that access is denied to the CEZ throughout the process.



2 1:1250

1 SITE PLAN PROPOSED 1:200



Project Status

www.mulberryhomenorfolk.co.uk

OFFICE BUILDING - BARONS HALL FARM  
BARONS HALL LANE - TACKHAM  
NORFOLK - NE31 8JH  
TELEPHONE - 01753 987500  
email - j.preston@mulberryhosp.co.uk

PROPOSED CONSTRUCTION OF 2 X  
DETACHED CHALEY STYLED DWELLINGS  
ADJACENT TO COMFER LODGE,  
RINGSTEAD ROAD, SEDGFORD.

SITE AND LOCATION PLANS AS  
PROPOSED

Client	NF LTD.
Date	08/08/2022
Drawn by	JD
Project number	00048
Scale	D1,1-00045 As indicated







1 02 FIRST FLOOR  
1:50



2 00 GROUND FLOOR  
1:50



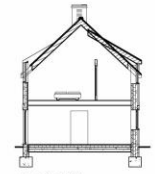
3 EAST ELEVATION  
1:100



4 NORTH ELEVATION  
1:100



5 WEST ELEVATION  
1:100



6 Section 3  
1:100



7 SOUTH ELEVATION  
1:100

Project Status



www.mulberryhomenorfolk.co.uk

OFFICE BUILDING - BARONS HALL FARM  
BARONS HALL LANE - FAKESHAM  
NORFOLK - NE21 8JH  
TELEPHONE: 01753 897500  
email: jlm@mulberryhomedesign.co.uk

PROPOSED CONSTRUCTION OF TWO  
CHALET STYLED DWELLINGS CONSERV  
LODGE, RINGSTEAD ROAD, SEDEGFORD,  
PE39 9JQ

ALL PLANS, ELEVATIONS & SECTIONS  
UNIT 2

Client: MH LTD  
Date: 05/08/2022  
Drawn by: JLD  
Project number: 00048  
Scale: D10.1-00045 As indicated







Looking west from Ringstead Rd towards access and Donor dwelling(Conifer Lodge)















Rear garden of donor property showing boundary with site





Rear garden of donor property looking south





Rear of donor property from site







Site facing west









View facing north showing donor dwelling from Parkside





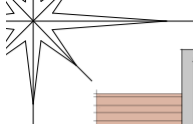
View along Parkside facing west











1 02 FIRST FLOOR  
1:50



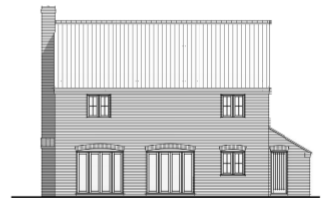
2 00 GROUND FLOOR  
1:50



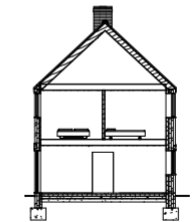
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1:100



4 NORTH ELEVATION  
1:100



5 WEST ELEVATION  
1:100



6 Section 3  
1:100



7 SOUTH ELEVATION  
1:100



23/01743/F







1. The drawings are prepared in accordance with the provisions of the Building Regulations 2010 and the Building Control (Approved Documents) 2013.

2. The drawings are prepared in accordance with the provisions of the Building Regulations 2010 and the Building Control (Approved Documents) 2013.

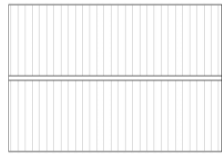
3. The drawings are prepared in accordance with the provisions of the Building Regulations 2010 and the Building Control (Approved Documents) 2013.

4. The drawings are prepared in accordance with the provisions of the Building Regulations 2010 and the Building Control (Approved Documents) 2013.

5. The drawings are prepared in accordance with the provisions of the Building Regulations 2010 and the Building Control (Approved Documents) 2013.







Roof Plan  
Scale: 1:100



Front (W) Elevation  
Scale: 1:100



Side (S) Elevation  
Scale: 1:100



Rear (E) Elevation  
Scale: 1:100



Side (N) Elevation  
Scale: 1:100



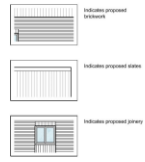
Ground Floor Plan  
Scale: 1:100

General Notes  
1. The drawing shall not be scaled. Apparent dimensions only to be used.  
2. All dimensions are given in millimetres unless stated otherwise.  
3. The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.  
4. This drawing is to be read in conjunction with all relevant engineering and specialist sub-contracting drawings and specifications.  
5. Any discrepancies are to be brought to the designers attention.

WALL KEY



ELEVATION KEY



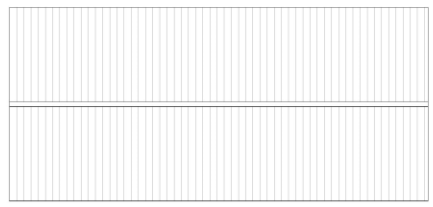
Revisions

A	01/2022	Revised
B	01/2022	Revised

FOR APPROVAL



As the Proposed replacement dwellings	Date	Prepared by
Quaker Farm	October 2022	G.E.
Burroughgate Road, Watlington		Checked by
For: Mr S McCurdy		
Issued for the Planning Drawing	File No: SE-1592	Sheet No: A1
Floor Plan, Roof Plan and Elevations	Day No: 07-1113	Revision: B



Roof Plan  
Scale: 1:100



Front (W) Elevation  
Scale: 1:100



Side (S) Elevation  
Scale: 1:100



Rear (E) Elevation  
Scale: 1:100



Ground Floor Plan  
Scale: 1:100



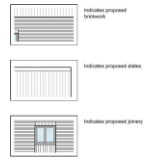
Side (N) Elevation  
Scale: 1:100

- General Notes
- The drawing shall not be scaled. Apparent dimensions only to be used.
  - All dimensions are given in millimetres unless otherwise stated.
  - The contractor, sub-contractors and suppliers must verify all dimensions on site prior to the commencement of any work.
  - This drawing is to be read in conjunction with all relevant regulations and standards, including building regulations and specifications.
  - Any discrepancies are to be brought to the designer's attention.

WALL KEY



ELEVATION KEY



Revisions

A	01/2022	Revised	
C	01/2022	Revised	

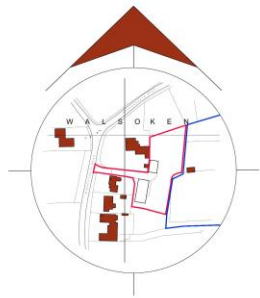
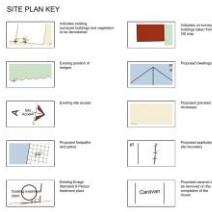
FOR APPROVAL



Proposed replacement dwellings	Queen's Farm	Plot No.	01	Planning	G.E.
Burroughgate Road, Watlington	For: Mr S McCurdy	Date	October 2022	Revised by	
Planning Drawing	Plot No.	01	01	Plot No.	A1
Floor Plan, Roof Plan and Elevations	Rev No.	01-11-10	01	Revision	C



Current  
proposal



Site Plan  
Scale: 1:500

Location Plan  
Scale: 1:1000

FOR APPROVAL



Project Reference	23/01743/F	Client	Walsoken
Site Name	Plot 1000/1001 & 1000/1002	Project	23/01743/F
Design Team	SWANN EDWARDS ARCHITECTURE	Author	SWANN EDWARDS ARCHITECTURE
Project Manager	SWANN EDWARDS ARCHITECTURE	Checker	SWANN EDWARDS ARCHITECTURE
Project Engineer	SWANN EDWARDS ARCHITECTURE	Approver	SWANN EDWARDS ARCHITECTURE
Date & Version	23/01/2023	Scale	1:500



Roof Plan  
Scale: 1:100



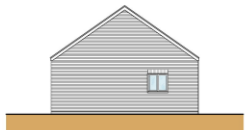
Front (W) Elevation  
Scale: 1:100



Side (S) Elevation  
Scale: 1:100



Rear (E) Elevation  
Scale: 1:100



Side (N) Elevation  
Scale: 1:100



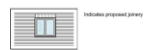
Ground Floor Plan  
Scale: 1:100

- General Notes
1. All dimensions are shown in feet unless otherwise stated.
  2. The drawings, sub-structure and structure shall comply with all relevant codes of practice and standards.
  3. The drawings are to be read in conjunction with all relevant regulations and standards for construction, drainage and sanitation.
  4. Any discrepancies are to be brought to the engineer's attention.

WALL KEY



ELEVATION KEY



# Current proposal Barn 2

FOR APPROVAL



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Proposed replacement dwellings	Date	Prepared by
The Barn	August 2023	G.E.
Burntgate Road, Weston		Checked by
For: Mr S McCurdy		S.M.
Issued for		
Planning Drawing	File No:	Plot Size
Floor Plan, Roof Plan and Elevations	SE-1592	A1
	Rev No:	Revision
	01-2103	A











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View of Barn 2 from centre of the site – The Limes/ No. 1 beyond







View of common boundary with The Limes/No.1 from driveway







View to rear of Barn 2







View of Barn 1 from SE corner of the site





Southern boundary common with No.9







Common boundary with Nos. 5 & 7



# Speaker Slides Duncan Ford



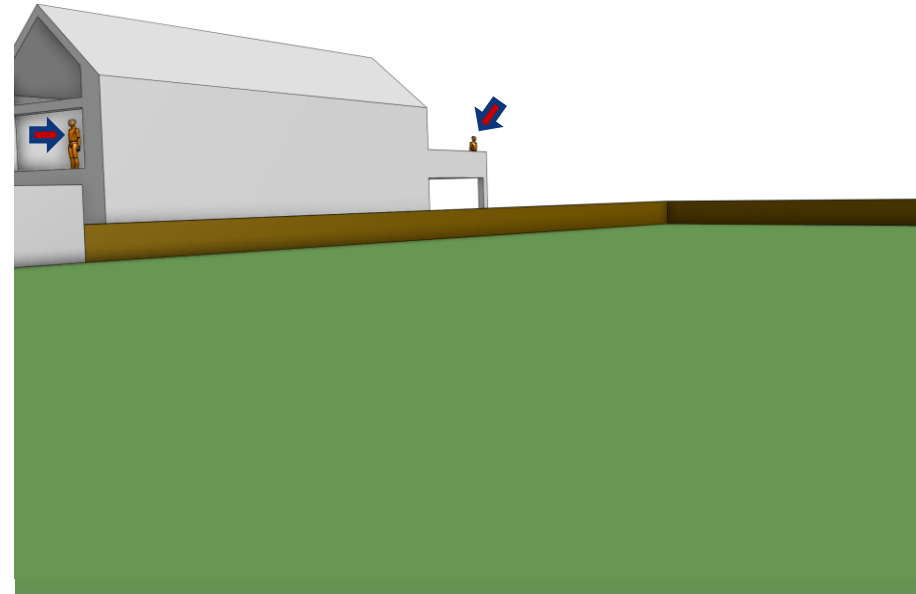


# Overlook and Noise Pollution Impact for Garden of No.9

## Current



## Proposed



- Overlook impact
- Unconventional “upside-down” house
  - Increased overlook (active rooms on first floor and protruding balcony)
  - Light pollution (large windows in active rooms on first floor)
  - Noise pollution (balcony for parties with unhindered overlook)
- Inconsistent with surrounding dwellings
- Unsympathetic to approved dwelling it replaces
  - Change from barn to modern executive glasshouse
- No ecology impact assessment
- Breaks contract signed on purchase
- Will establish precedent for building outside the defined development area





# END OF PRESENTATION

